



**AGENDA**  
**PLANNING AND ZONING MEETING**  
**Norwalk City Hall, 705 North Ave**  
**Monday, November 14, 2016**  
**5:45 P.M.**

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes – October 24, 2016
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
  - a. Public hearing and consideration of an amendment to the City's Zoning Ordinance to update the Sign Regulations
  - b. Request from Norwalk Land Co to amend the Site Plan of the Norwalk Orchard View Townhomes
  - c. Request from J Larson Homes, LLC to approve the Final Plat of the Norwalk Orchard View Townhomes
7. Staff Development Update
8. Future Business Items
  - a. Legacy 20 Final Plat
  - b. Parkland Dedication Amendment
  - c. R-F District Rezoning
9. Next Meeting Date: November 28, 2016
10. Adjournment

## REGULAR NORWALK PLANNING AND ZONING MEETING 10-24-2016

### Call to order

The Regular Meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, October 24, 2016. The meeting was called to order at 5:45 p.m. by Chairperson Judy McConnell. Those present at roll call were, John Fraser, Elizabeth Thompson, Brandon Foldes, and Judy McConnell. Absent: Jim Huse and Donna Grant.

Present was City Council liaison Stephanie Riva.

Staff present included: Luke Parris, City Planner and Shelley Stravers, Development Services Assistant.

### Approval of Agenda – 16-68

*Motion by Thompson and seconded by Foldes to approve the agenda as presented. Approved 4-0.*

### Approval of Minutes – 16-69

*Motion by Fraser and seconded by Thompson to approve the minutes from the October 10, 2016 meeting. Approved 4-0.*

Chairperson McConnell welcomed guests present. With no one wishing to speak, the business portion of the meeting was opened.

### New Business

#### **Request from Diligent Warrior Run, LLC to approve the Preliminary Plat of the Warrior Run Estates Plat 2 – 16-70**

Parris presented the Preliminary Plat which consists of 32 residential lots, all R-1(70) zoning. The plat consists of 24.57 acres of land south. The streets shown on the Preliminary Plat would be dedicated to the City for street use upon approval of the Final Plat. The designated street right-of-way is 60' with a 28' wide road on Warrior Run Drive and East 29<sup>th</sup>.

Drainage for these lots run overland and to the storm sewer system on the streets. The storm sewer system outlets to an offsite detention basin to the south of the golf course.

The subdivision requires 783 square feet of parkland per single family dwelling unit, so totaling 0.58 acres of parkland, or the equivalent per Subdivision Regulations, to the City. No park is shown on site. Staff is currently working with the developer to discuss options for fulfilling the City's parkland dedication requirement.

Thompson asked what was done for the parkland dedication in Plat 1? Parris responded that they gave the cash equivalent and did not provide the land for the park.

McConnell expressed concern with our current parkland dedication requirements. Parris explained that the City Council is also concerned and they have been having discussions about this. This will be discussed on a later topic on the agenda this evening also.

Thompson asked if all surrounding landowners have been notified. Parris explained that it is not a requirement for Preliminary Plat process, but during the zoning change process they were notified.

Riva reiterated that the drainage ultimately goes to an offsite detention pond. She is concerned that someday the golf course or land where the detention pond is located could change

ownership. Do we need to secure anything for the future to make sure we have an easement to get access to the pond? Others agreed this would help from getting into a bad situation again.

Staff recommend approve with following conditions:

- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

*Motion by Thompson and seconded by Foldes to approve the Preliminary Plat of the Warrior Run Estates Plat 2 with staff recommended conditions. Approved 4-0.*

### **Request from Hubbell Properties to approve the Site Plan for Edencrest at The Legacy – 16-71**

The request is for the development of a 60 unit assisted living facility. The site is zoned as part of The Legacy Planned Unit Development. An amendment to the PUD zoned this specific parcel as R-4 specifically for an assisted living facility.

A 5' sidewalk is provided along Cedar Street. A sidewalk is also required along Beardsley Street. The developer has requested not to build this sidewalk with the project due to potential expansion of Beardsley in the future. The Public Works department has concurred with the developer that the expansion of Beardsley could impact any sidewalk installed at the time. The developer has consented to signing a Petition and Waiver regarding the sidewalk. This will allow the City to build the sidewalk in the future and assess the owner of its site for the cost.

The City's architectural standards require that buildings in the R-4 district be composed of 40" class 1 or class 2 materials; no more than 60% class 3 and class 4 materials, with any class 4 materials being no more than 10%.

The site plan includes building elevations that identify materials to be used on the building façade.

- The east elevation includes 47% class 1 and 2 materials and exceeds the code requirement.
- The west elevation includes 39% class 1 and 2 materials is slightly below the code requirement.
- The north and south elevations include 29% class 1 and 2 materials and is below the code requirement.

Parris explained that when the PUD master plan amendment was submitted the developer included building elevations that they wanted adopted with the master plan amendment as a formal piece of the Legacy PUD. Staff review of the PUD amendment ordinance is inconclusive as to whether the building elevations were adopted as part of the PUD or not.

It is staff's opinion that the intent of the City's architectural standards is to ensure long lasting quality buildings are built in the City. It is the staff's opinion that the proposed design meets that intent.

Chris Sadoris, Hubbell Realty Company, 6900 Westown Parkway, West Des Moines, spoke to the Commission regarding this project. Hubbell did hold neighborhood meetings regarding this project. This building will be 150 feet off of Beardsley. This is Hubbell's fifth project similar to this. Sadoris showed pictures of their other projects. She also mentioned that there is no vinyl on the project, as they removed all of that from the plans and used cement. The purpose of their exterior design was to try and make the building feel more residential and not large and cumbersome.

Commission discussed that if they did approve this, that they would not be setting a precedent for future projects. In general, Commission was good with the look of the project and glad that Hubbell exceeded requirements on the front facing portion of the building.

*Motion by Foldes and seconded by Fraser to approve the Site Plan for Edencrest at The Legacy. Approved 4-0.*

### **Discussion on potential amendments to the parkland dedication section of the City's Subdivision Ordinance.**

Parris reported that parkland dedication has been a hot topic at many Planning & Zoning Commission meetings as well as City Council meetings. A master park plan has been discussed.

Current concerns with the current process we are using and the lack of a defined master park plan, along with the lack of guidance on determining the fair market value of the parkland dedication requirement. The City's Comprehensive Plan does include a section on the parks system, but it only talks about future parks needs as the community grows and does not identify the location of the parks. Past practice when determining the "fair market value" for the parkland dedication has been to take the purchase price the developer paid for the property and use it to determine a per acre fee. Recently, questions have been raised to if this cost is sufficient to develop our park system. Parris used the recent Timber View subdivision as an example of how the current calculation works. Parris noted that Timber View actually dedicated parkland space within the development.

The purchase price of Timber View was \$15,024 per acre. There were 144 single family lots. The parkland space required would be 144 lots x 783 sf = 112,752 sf or 2.59 acres. Fair market value of parkland is 2.59 acres x \$15,024 per acre or \$38,888.57.

City Council has directed staff to research the potential cost of a comprehensive park plan and begin work on a draft RFP for the project. Council also asked staff to research other city codes to understand how different communities handle dedication requirements and to consider any minor modifications to the parkland dedication requirements that would address the concerns while comprehensive park plan is developed.

Staff researched and summarized five municipalities for the Commission in their report.

As the prices for park equipment and land have risen over the years, it doesn't appear that our parkland dedication prices have increased to stay in line with that. Therefore, our community is lacking in parks and park equipment. The only way to sustain this program is to change how we are currently handling parkland dedication. Parris explained that due to the many plats we have coming through, and that the actual RFP process to develop a master park plan will take time, we may need to look at changing our current requirements until that process is complete.

Commission agreed that they liked how Urbandale's requirements were set up. If land is not provided for a park, they determine their fee by multiplying the total purchase price of all the land in the development by 10%. Parris noted that there is a tipping point that makes it a better decision for the developer to provide the land than to donate the money. We don't want to make that number too low so that everyone decides to give money.

Riva commented that in the subdivision regulations under the private park section, developers are allowed to do something different for those and can then donate for a public park. She would like the percentage we are requesting from developers to be the same across the board, including those with private parks. The private parks are no good the community as a whole, only to those who are allowed to use it. Those developers should have to donate to the public park system also.

The Commission agreed that 10% seemed like a good amount to go with for now but would like staff to do more research prior to putting a plan in place. Riva also mentioned that developers should be required to show where their parkland will be located when they present their first concept for the development. Then they should have to hold true to that plan the entire way through the process.

#### **Discussion and recommendation on amendment to the City's Urban Renewal Plan- 16-72**

Parris reported that the City Council has set a hearing date of November 17 to hold a public hearing on proposed amendments to the City of Norwalk's Urban Renewal Plan. The Urban Renewal Plan identifies areas in the community that are eligible to have TIF funds spent on projects within the boundary of the plan. Prior to the City Council public hearing, the Planning & Zoning Commission must review the requested proposal for conformance with the City's plans.

The proposed amendments are to add the commercial ground in the north Shore PUD, commercial ground to the east of Highway 28 near the North Shore, and the Turnberry project at Hughes Farm area of SubArea 1.

*Motion by Thompson and seconded by Fraser to approve the amendment to the City's Urban Renewal Plan. Approved 4-0.*

#### **Staff Development Update**

Parris reported that staff is very busy and we are very short staffed right now. Parris has been named as Interim for Community Development Director to work on projects that previous director was handling. They are looking at adding an Economic Development Director in addition to a Community Development Director. There are two City Council members along with the mayor that are serving on a subcommittee along with City Manager to write the job description for the Economic Development Director.

#### **Future Business Items**

**Sign Ordinance Review** – Parris explained this is something we probably want to take a look at amending. With all the development and commercial development on the horizon, we need to make sure we have this the way we want it before all those signs are approved. Pole signs are definitely a concern and right now are only allowed in C3 district, but might want to change that.

Riva commented it was mentioned previously that staff would research other communities and see what their sign ordinances looked like.

Digitized signs were discussed and what is actually allowed and what is not. McConnell noted that the Iowa DOT has a great resource of standards that they had to follow when getting their digitized sign on Highway 28 for the Lakewood Village Association.

**Next meeting Date – November 14, 2016.**

**Adjournment – 16-73**

*Motion by Fraser and seconded by Thompson to adjourn the meeting at 7:16 p.m. Approved 4-0.*

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Judy McConnell, Vice Chairperson

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Luke Parris, City Planner

**CITY OF NORWALK  
REPORT TO THE NORWALK PLANNING COMMISSION**

**ITEM:** Public hearing and consideration of an amendment to the City's Zoning Ordinance to update the Sign Regulations

**MEETING DATE:** November 14, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**ISSUE:** On October 20, 2016, Pastor Trey Perrott, with the First Baptist Church of Norwalk, attended the City Council meeting and requested that the City consider allowing electronic message display signs. The City Zoning Ordinance do not currently allow these types of signs, though several do exist in the community. After discussion with Council Members and Planning and Zoning Commissioners, staff worked to prepare an update to the Zoning Ordinance to allow for electronic display messages. Staff has also taken this opportunity to prepare changes to a few other areas of the sign regulations.

Below is a summary of the proposed changes:

- Prohibit pole signs in all zoning districts.
- Modify architectural standards for free standing signs. Now require use of class 1 and class 2 materials in construction of monument signs.
- Remove the need for Council approval of temporary sign permits.
- Allow and set rules for electronic message signs:
  - Only as part of a monument sign. Counts towards sign area.
  - Only text, no video allowed.
  - Only LED lights, no TVs or screens.
  - Message displayed for 8 seconds, switch in less than 1 second.
  - Lights can't disturb motorists or cause a glare

Attachment A: Sign Regulations Update

## **CHAPTER 17.70**

### **SIGN REGULATIONS**

#### Sections:

17.70.000	Sign Regulations
17.70.010	Statement of Intent
17.70.020	General Prohibitions
17.70.030	Prohibited Signs
17.70.040	Exemptions
17.70.050	On-Premise Sign Regulations
17.70.060	Freestanding Identification Signs
17.70.070	Free Standing Bulletin Boards or Directory Signs
17.70.080	Building Signs
17.70.090	Billboards; Off-premise Advertising
17.70.100	Projecting Signs
17.70.110	Marquees, Awnings and Canopy Signs
17.70.120	Directional Signs
17.70.130	Temporary Signs
<u>17.70.135</u>	<u>Electronic Changeable Message Display</u>
17.70.140	Permits and Fees
17.70.150	Inspection
17.70.160	Unsafe and Unlawful Signs
17.70.170	Painting Required
17.70.180	Wind Pressure and Dead Load Requirements
17.70.190	Removal of Obsolete Signs
17.70.200	Maintenance
17.70.210	Signs not to constitute a Traffic Hazard
17.70.220	Signs Extending Over City Property
17.70.230	Non-Conforming Signs
17.70.240	Revocation of Permits
17.70.250	Jurisdiction of Norwalk Board of Adjustment
17.70.260	Jurisdiction of Norwalk Board of Appeals
17.70.270	Violation -- Penalty

17.70.000 Sign Regulations. This Chapter shall be know and may be cited and referred to as the "Sign Ordinance" of the City of Norwalk, Iowa, and shall apply to all properties within the City of Norwalk.

17.70.010 Statement of Intent. In the interest of promoting the general welfare and public safety of the city and recognizing the city should be aesthetically attractive as well as financially prosperous, the City of Norwalk desires to regulate signs in such a way as to establish a compatibility of sign usage with the land use patterns and standards for the zoning district, and to permit such signs which will not, by reason of their size, location, construction or manner of display cause an annoyance or disturbance to citizens, detract from the community's aesthetic attractiveness, create a hazard, confuse or mislead traffic, obstruct vision necessary for traffic safety, or otherwise endanger the public morals, health or safety.

17.70.020 General Prohibitions.

- A. No sign shall be allowed except as permitted by this Chapter.
- B. No sign shall be located so that the safety of a moving vehicle or pedestrian will be impaired by obscuring a driver's or pedestrian's vision.
- C. Sign shall be properly erected or attached to a structure and kept in good repair. Any lettering, logo, design, and other markings placed upon the sign shall be clear, distinct, and readable and maintained in that condition.

17.70.030 Prohibited Signs. The following signs shall not be permitted, erected or maintained on any property within the City of Norwalk, unless located within the confines of a building, or if not visible from outside the premises of the lot in which the sign is located.

- A. Moving or Flashing Lights. Signs which incorporate in any manner any flashing, pulsating, rotating, beacons, or moving lights, except ~~time and temperature display signs which are twelve (12) square feet or less for electronic message displays, as defined in Electronic Message Display Section 17.70.135 of this Chapter.~~
- B. Banners. Except as specified in the Temporary Signs Section 17.70.130 of this Chapter, banners, pennants, spinners and streamers of any size, and local, state, or national flags greater than eighty (80) square feet in area, or numerous flags displayed to draw attention to a business and not to celebrate a national holiday.
- C. String Lights. String lights used in connection with commercial premises for commercial purposes, other than Christmas decorations used from November 1st to January 15th on a temporary basis.
- D. Moving Signs. Any sign which has any visible moving part, visible revolving parts or visible mechanical movement of any description or other apparent visible movement achieved by electrical, or mechanical means, including intermediate electrical pulsations, or by action of normal wind currents.
- E. Hazardous Sign. Any sign or sign structure which:
  - 1. Is structurally unsafe, or
  - 2. Constitutes a hazard to safety or health by reason of inadequate maintenance, dilapidation or abandonment, or
  - 3. Is not kept in good repair, or
  - 4. Is capable of causing electrical shocks to persons likely to come in contact with it.
- F. Traffic Hazard. Signs that constitute a traffic hazard, as noted in Section 17.70.210 of this Chapter.

- G. Obstructions. Signs that constitute an obstruction so as to prevent free ingress or egress through any door, window or fire escape.
- H. Prohibited Attachment. No sign or other advertising structure of any kind shall be attached to a stand-pipe or fire extinguisher.
- I. Obscene Matter. Signs that display obscene, indecent or immoral matter, or illustrate or state specified anatomical areas or specified sexual activities.
- J. Portable Sign. Portable signs except as specified in the Temporary Sign Section 17.70.130 of this Chapter.
- K. Roof Signs. A roof sign erected upon or above a roof or parapet of a building.
- L. Billboards. Billboards, except in accordance with Section 17.70.090 of this Chapter.
- M. Pole Signs. A free standing sign erected and supported by one or more uprights.
- N. Signs Projecting over Public Right-of-Way. It shall be unlawful to erect or maintain any sign on, over, or above any land or right-of-way belonging to City of Norwalk or other governmental entity unless specifically allowed by Section 17.70.220 of this Chapter.
- O. Discontinued Use. On-premise signs that advertise an activity, business, product, or service no longer offered or conducted on the premises on which the sign is located for a period of more than twelve (12) months after such activity, business, product, or service has ceased being offered or conducted.
- P. High Intensity or Glaring Lights. High intensity lights, strobe lights, or rotating beams shall be prohibited outside of a building or visible from the outside of a building in all zoning districts except when otherwise legally displayed as emergency lights or warning lights. Illumination of signs shall be designed in such a way as to reflect light away from residential properties and motorists' vision.
- Q. Conflicting Signs. Signs with a format which resembles or conflicts with traffic signs or signals.
- R. Unlawful Signs. Any sign unlawfully installed, erected or maintained in violation of this chapter.
- S. Vehicle Signs. Vehicle signs attached to or painted on a vehicle or trailer which is routinely parked within a public street right-of-way or within one hundred (100) feet of a public street right of way and visible from a public street during continuous or repetitive incidents for more than two (2) days or two (2) separate incidents with the intent to advertise or promote the interest of a business on-premise or off-premise.

17.70.040 Exemptions. The following signs shall not require a sign permit.

- A. Real Estate signs not exceeding thirty-two (32) square feet in area which advertise the sale, rental, or lease of the premises upon which said sign is located only. Such real estate signs shall not be located on public right-of-way and shall be limited to one sign for each street frontage.
- B. Professional nameplates not exceeding one square foot in area.
- C. Signs located within the confines of a building.
- D. Bulletin boards not over eight (8) square feet in area for public, charitable or religious institutions when the same are located on the premises of said institution.
- E. Directory signs denoting only the name and profession of occupants in a commercial building, public institutional building, or dwelling and not exceeding two square feet in area.
- F. Memorial signs or plaques, names of buildings, and date of erection when cut into any masonry surface or when constructed of bronze or other noncombustible and maintenance free materials, and not exceeding fifty (50) square feet in area.
- G. Traffic or other municipal signs, legal notices, railroad crossing signs, danger, temporary off-premises signs for new businesses, and such temporary emergency or non-advertising signs as may be installed on public property and/or approved by the City Council.
- H. Community Identification, information, or directional signs located on public property, which are owned by the City, identifies the name of the city, advertises community events, new businesses or identifies or directs traffic to public facilities, or landmark neighborhoods and commercial districts.  
  
Political campaign signs of not greater than twelve (12) square feet in an "R" district and thirty two (32) square feet in all other zoning districts and shall not be located on public right-of-way.
- J. The changing of the advertising copy or message on a painted or printed sign, theater marquees and similar signs specifically designed for the use of replaceable copy.
- K. Painting, repainting, or cleaning of an a billboard or sign shall not be considered an erection or alteration which requires a sign permit unless a structural change is made or the area of the sign is enlarged.
- L. Temporary signs permitted in accordance with the requirements of Section 17.70.~~140-130~~ of this chapter.
- M. Signs, referring to construction, lease, or hire, not exceeding thirty-two (32) square feet in area.
- N. Name and address changes on directory signs.
- O. Service signs identifying restrooms, public telephone facilities, first aid stations, emergency shelters and other similar public service facilities.

- P. National, state, or local government flags which are less than eighty (80) square feet in area for each flag.
- Q. To assist with identification of new businesses in developing commercial districts with no direct arterial street frontage, the City Council and their discretion, can order the installation of a temporary sign to be installed by the City on public right-of-way. The purpose of the sign is to allow for the temporary attachment of business placards that direct traffic to new businesses and commercial areas. Approval of the attachment of business placards to the sign must be approved by the City Council and may be allowed up to a period of one (1) year. The design, attachment, and removal of the placards shall be arranged with city staff.

17.70.050 On-Premise Sign Regulations. The standards and regulations set forth within Sections 17.70.060, 17.70.070, and 17.70.080 shall apply to all On-Premise Signs, which advertise, identify, and/or direct attention to a profession, business, service, activity, product, campaign or attraction which carried on, sold, offered, or manufactured in or upon the premises.

17.70.060 Freestanding Identification Signs. There shall be permitted one (1) freestanding identification sign for each street frontage of a lot, or one (1) sign for each three hundred (300) feet of street frontage, whichever is greater. Freestanding identification signs shall include ~~on-premise pole signs, ground signs, or freestanding wall signs~~ monument signs and project identification signs, as defined within this Ordinance. Freestanding identification signs shall be constructed of class 1 or class 2 materials (as listed in the Architectural Standards, section 17.60.020.B) to match the exterior materials of the existing principal building. If building has exterior materials that do not meet the City's Architectural Standards, then the sign shall still be constructed with class 1 or class 2 materials. ~~materials which are acceptable to the City and compatible with the principal building's exterior wall materials.~~

The following type, size, height, and setback for free standing identification signs, shall be permitted within the following zoning districts by use.

Zoning Districts	Type of Sign	Maximum Size (sq. ft.)	Maximum Height (ft.)	Minimum Setback (ft.) from Front Setback Line
A-R R	Project Identification Sign*	40(a)	7(b)	10
C-O C-1 C-2 C-3	Monument	80(a)	7(b)	10
	Project Identification Sign(c)	200	25	15
C-4 TC	Monument(d)	80	7	10(e)
IC PC	Monument	80(a)	7(b)	10
C-3 M-1	Monument	80(a)	7(b)	10
	<del>Pole</del>	<del>80</del>	<del>25</del>	<del>10</del>
	<del>Interstate High Rise Billboards</del>	(f)	(f)	(f)

\*Except for individual one and two family dwellings.

(a) The sign area may increase four (4) square feet in area for each additional one (1) foot of setback to a maximum area of eighty (80) square feet. The total area of a multiple sided ground sign's exposed facings shall not be greater than twice the maximum sign size permitted at the signs proposed setbacks.

(b) The sign height may increase one (1) foot in height for each additional one (1) foot of setback to a maximum height of fifteen (15) feet.

(c) Identifies the name of a retail shopping center, or office or industrial complex with more than one (1) tenant on a lot of 100,000 sq. ft. or more and minimum 300 ft. of street frontage.

(d) Within the C-4 or TC district, if an individual or series of buildings that has a (0) foot front yard setback or no parking between the building and street, no freestanding identification sign is permitted due to the use of building signs in close proximity to the street.

(e) May be reduced to the building setback, however must be reviewed and approved at time of site plan submittal.

(f) Permitted only in the C-3 district and within 600 feet of the centerline of Highway 5. An interstate high-rise sign must be approved through the site plan review process and must adhere o regulations of subsection 17. 70.090 B.

17.70.070 Freestanding Bulletin Boards or Directory Signs. One (1) freestanding bulletin board or one (1) directory sign shall be permitted within the lot of any permitted use in any zoning district, except within the lots of a one and two family dwellings. Bulletin Boards or Directory Signs shall not be greater than thirty-two (32) square feet and ten (10) feet in height, and less than twenty-five (25) feet from a public street right-of-way.

17.70.080 Building Signs. The following standards and regulations shall be applied to Building Signs as permitted by use and zoning district:

- A. A-R, R, TC, IC, and PC Zoning Districts. Building Signs shall incorporate aesthetic features compatible with the overall character of the zoning district and neighborhoods. All building signs shall be composed of solid individual letters and logos or individual illuminated self-contained letters and logos attached to the building's exterior wall fascia. Panel signs with letters incorporated or painted upon a panel or wall area shall be prohibited.

The following maximum building sign area requirements shall apply to the following uses within the A-R, R, TC, IC, and PC Zoning Districts:

- 1. Combined building signs not in excess of thirty (30) square feet per apartment complex, and for all other uses, except residential, combined wall signs not exceeding five (5) percent of the total square footage of each wall area of the principal building facing the street frontage.

- B. C-0, C-1, C-2, C-3, and C-4 Zoning Districts. Building Signs shall incorporate aesthetic features compatible with the overall character of the zoning district

and neighborhoods. All building signs are encouraged to be composed of solid individual letters and logos or individual illuminated self-contained letters and logos attached to the building's exterior wall fascia. Open-channel neon signs are permitted, provided the neon does not flash, pulsate, or have a moving light. Panel signs with letters incorporated or painted upon a panel may be used on a building for one occupant, and shall be consistent in design. A uniform panel sign system to identify more than one occupant of a multi-tenant building may be permitted if approved by the City Council, upon receiving a recommendation by the Planning and Zoning Commission, and after a determination that the use of a uniform panel sign system maintains the aesthetic quality and character of the development, zoning district and neighborhood. Signs painted upon the building's exterior wall fascia shall be prohibited.

The following maximum building sign area requirements shall apply to the following uses within the C-0, C-1, C-2, C-3, and C-4 Zoning Districts:

1. Combined building signs not in excess of thirty (30) square feet per apartment complex, and for all other uses, except residential, combined wall signs not exceeding five (5) percent of the total square footage of each wall area of the principal building facing the street frontage.
- C. M-1 Zoning District. Building signs in the M-1 Zoning District shall comply with the following area requirements:
1. Combined wall signs shall not exceed five (5) percent of the total square footage of each wall area of the principal building facing the street frontage.

17.70.090 Billboards; Off-premise Advertising. No off-premise sign or billboard shall be permitted within one hundred fifty (150) feet of any dwelling unit, public parkway, public park, or property line of a public or parochial school site, church site, hospital site, cemetery, similar institution or zoning district not permitting billboards or off-premise signs, and three hundred (300) feet of a "R" District.

- A. Permitted Zoning Districts. Billboards which conform with the provisions of this section shall be permitted in the following zoning districts: C-3 and M-1 Districts.
- B. Billboard Setback, Size and Height Requirements. Billboards which conform with the provisions of this section shall be permitted in the following zoning district: C-3 and within 600 feet of the centerline of Highway 5.
- C. Spacing of Billboards.
1. On federal and state highways, federal and state regulations for spacing and setbacks shall apply, provided, however, if the regulations of this chapter are found more restrictive, the more restrictive requirement shall apply.
  2. No billboard shall be established within five hundred (500) feet of any other billboard.

- D. Construction and Maintenance. Billboards shall be constructed of structurally sound, permanent and low maintenance metal, with a single pole design that is ground foundation mounted. Billboards shall be properly maintained as required of all signs regulated by this chapter, and a maintenance agreement and bond shall be executed with the City prior to issuance of a permit to allow installation of a billboard.

17.70.100 Projecting Signs.

- A. Application. Projecting signs as regulated by this chapter shall include any sign, other than an awning sign, canopy sign, marquee, or building sign, which projects from and is supported by a wall of a building or structure, and whose message is on a plane which is generally perpendicular to the supporting wall. Projecting signs which extend over public right of way shall be permitted only in the C-4 and TC Districts.
- B. Construction. Every projecting sign, including the frame, braces and supports thereof, shall meet the compliance of the building code of the City of Norwalk, Iowa.
- C. Thickness Limitation. The thickness measured between the principal faces of any projecting sign shall not exceed twelve (12) inches.
- D. Sign Area and Height. Projecting signs shall not exceed twenty-five (25) square feet or the maximum square footage permitted for a building sign, whichever is least. The area allocated to a projecting sign shall be applied toward the maximum area allowed for building signs on buildings as permitted in the use in that zoning district. The area of a projecting signs shall be measured from the extreme points of the peripheral encasement. No part of any projecting sign shall be less than ten (10) feet above ground level, except as provided in sub-Section 17.70.100.E.
- E. Location. Every projecting sign shall be at least ten (10) feet above any sidewalk area over which it is erected, and a distance not greater than two (2) feet from the wall to which it is attached, measuring from the point of the sign nearest thereto. Every projecting sign to be erected over public or private driveways or thoroughfares shall be placed not less than fifteen (15) feet above the level of same.
- F. Obstructions and Traffic Hazards. Every projecting sign shall be erected in a manner which does not constitute an obstruction or traffic hazard regulated by this chapter.
- G. Projection over Public Property. It shall be unlawful for any projecting sign to be located over public property or a public easement unless approval is granted by the City Council of the City of Norwalk, Iowa.

17.70.110 Marquees, Awnings and Canopy Signs. The term "sign" herein shall apply to lettering placed upon a marquee, awning, or canopy when projecting from a wall of a building.

- A. Sign Area. The area of the letters or logo encompassing the sign message incorporated upon the marquee, awning or canopy shall be applied toward the maximum building sign area permitted for the use in that zoning district.

17.70.120 Directional Signs.

- A. Application. Directional signs as regulated by this chapter shall include any sign for the purpose of control of all modes of traffic which is located on private property.
- B. Traffic Control. The provisions and regulations of Section 17.70.140 of this chapter shall not apply to directional signs on private property of a traffic control nature including restricted parking, stop, yield, speed, and signs directing traffic flow, provided; however, said signs shall not be greater than eight (8) square feet in area.
- C. Access Identification. Two free standing directional signs intended to identify an access into or out of a lot shall be permitted per access, provided; however, said sign is not greater than ten (10) square feet in area and two and one-half (2-1/2) feet in height. The provisions and regulations of Section 17.70.140 of this chapter shall not apply to access identification signs.

17.70.130 Temporary Signs.

- A. Application. Temporary signs shall include any construction, real estate, political, portable sign, banner, pennant, inflatable signs, valance or advertising display constructed of cloth, canvas, light fabric, cardboard, wallboard or other materials, with or without frames, intended to be displayed for a short period of time only.
- B. Special Permission. Temporary signs except for construction, real estate, or political signs, may be used for special occasions with City Council Zoning Administrator approval. There shall be no more than two (2) such occasions per year; ~~such occasions shall not exceed ten (10) days duration shall not exceed 10 days per occasion~~. Community festivals or other similar events may be exempted from the provisions of this section with the approval of the City Council.
- C. Construction, Real Estate and Political Signs. Temporary real estate, construction, and political signs less than thirty-two (32) square feet in area shall be permitted in any zoning district without the issuance of a sign permit, provided no real estate or political sign greater than twelve (12) square feet shall be permitted on a lot occupied by a single family dwelling in a RE-1, R-1, or R-2 district.

17.70.135 Electronic Message Display.

- A. Application. Electronic Message Display shall refer to any sign utilizing light to display a message and that is changed by an electronic process. Electronic Message Displays are allowed as part of a monument sign. The size of the Electronic Display shall count towards the allowed square footage of the sign.
- B. Standards. The following standards shall apply to all Electronic Message Displays:

1. Electronic Message Displays along State routes shall comply with all Iowa Department of Transportation standards. If an Iowa Department of Transportation standard conflicts with a City standard, then the more strict standard shall apply.
2. Electronic Message Displays shall only include only text, logos, and other special characters.
3. Electronic Message Displays shall be prohibited from displaying video, multiple pictures or graphics that give the illusion of motion or a video, and moving graphics, this includes travelling or scrolling text messages.
4. Electronic Message Displays shall only use LED (Light Emitting Diode) displays.
5. Electronic Message Displays are prohibited from using television displays, plasma screens, LED screens, and holographic displays to messages.
6. Each message shall remain in a fixed position for a minimum of 8 seconds.
7. Each change of message is accomplished in one second or less.
8. Lighting must be shielded to prevent beams or rays of light from being directed at any portion of the main travel way of the adjacent roads. The display cannot cause glare or impair the vision of any driver or interfere with the operation of the driver's vehicle. In no event may an Electronic Message Display exceed a maximum illumination of 5,000 candelas per square meter during daylight hours and a maximum illumination of 500 candelas per square meter between dusk to dawn, as measured from the displays face at maximum brightness settings.

17.70.140 Permits and Fees. It shall be unlawful for any person to erect, alter, or relocate within the City of Norwalk any sign or billboard except as specified in Sections 17.70.020 and 17.70.120 without first obtaining a permit from the building department and paying the fee required herein.

- A. Application for Permit. Application for permits shall be made in such form as required by the building department, and shall contain or have attached thereto the following information unless such information shall be deemed unnecessary by the Zoning Administrator.
1. Name, address, and telephone number of the applicant.
  2. Location of building(s), structure(s), or lot to which or upon which the sign or billboard is to be attached or erected.
  3. Position of sign or billboard in relation to nearby buildings, structures, or streets.
  4. One blueprint or drawing of the plans, specifications, and method of construction and attachment to the building or ground.
  5. Copy of stress sheets and calculations showing the sign or billboard is designed for live and dead loads and wind pressure loads in any direction in the amount required by this and all other applicable laws and ordinances.
  6. Name of person, firm, corporation, or association erecting the structure.

7. Valuation of cost of construction and sign.
8. Such other information as the Zoning Administrator shall require to show full compliance with this and all other laws and ordinances of the City of Norwalk.

B. Permit Fees. Sign permit fees shall be required as follows:

1. Any sign requiring a sign permit: \$25.00 plus \$.50 per square foot.
2. If the sign is to be electrical, an additional fee of \$25.00 shall be charged.

17.70.150 Inspection. The Zoning Administrator may inspect from time to time as he deems necessary, each sign, billboard or other advertising structure regulated by this chapter for the purpose of ascertaining whether the same is secure or insecure, and whether it is in need of removal or repair.

17.70.160 Unsafe and Unlawful Signs. If the Zoning Administrator shall find that any sign, billboard or other advertising structure regulated herein is unsafe, insecure, menace to the public, prohibited, or is in violation of the provisions of this chapter, he/she shall promptly give written notice to the permittee thereof or to the owner of premises on which the sign is located. If the permittee or owner fails to remove or alter the sign structure so as to comply with the standards herein set forth within three (3) working days after such notice, such sign, billboard or other advertising structure may be removed or altered to comply by the Zoning Administrator at the expense of the permittee or owner of the property upon which it located, however, if the owner of the sign has promptly ordered the necessary parts to repair the sign and has not received them or has promptly ordered the repair work done by an authorized erector and the erector has failed to respond within the three (3) work day period then a further extension of time may be granted upon a verified statement that such delay is not the result of any act of the permittee or owner of the premises.

If the Zoning Administrator shall find that any sign, billboard or other advertising structure regulated herein has been constructed or erected in violation of the provisions of this chapter, he shall promptly give written notice to the owner of the premises on which the sign is located. If the owner fails to remove or alter the structure so as to comply with the standards herein set forth within three (3) work days after such notice, such sign or billboard may be removed or altered to comply by the Zoning Administrator at the expense of the owner of the property upon which it is located. The Zoning Administrator may refuse to issue a permit to any permittee or owner who refuses to pay costs so assessed provided such authority is confined to the premises where the violation occurred.

17.70.170 Painting Required. The owner of any sign as defined and regulated by this chapter shall be required to have properly painted all parts and supports of said sign or billboard unless the same are otherwise treated to prevent rust or decay.

17.70.180 Wind Pressure and Dead Load Requirements. All signs, billboards and other advertising structures shall be designed and constructed to withstand a wind pressure of not less than thirty (30) pounds per square foot of area, or as further regulated by the building code of the City of Norwalk, Iowa; and shall be constructed to receive dead loads as required in the building code or other ordinances of the City of Norwalk.

17.70.190 Maintenance. All signs, billboards and other advertising structures, together with all of their supports, braces, guys and anchors, shall be kept in good repair and in proper state of preservation and working order. The display surfaces of all signs shall be kept neatly painted or posted at all times. The Zoning Administrator after ten (10) days notice to the sign or billboard owner may order the removal of any signs or billboards that are not maintained in accordance with the provisions of this chapter and the cost assessed against the property where said sign or billboard is located, however, if the owner of the sign or billboard has promptly ordered the necessary parts to repair the sign or other advertising structure and has not received them or has promptly ordered the repair work done by an authorized erector and the erector has failed to respond within the ten (10) days period, then a further extension of time may be granted, upon filing a verified statement of that such delay is not a result of any act of the sign or billboard owner.

17.70.200 Signs Not to Constitute Traffic Hazard. No sign, billboard or other advertising structure on private property as regulated by this chapter shall be erected; 1) at or near the intersection of any streets or near a private access to a public street in such a manner as to obstruct free and clear vision; or b) at any location where, by reason of the position, shape or color, it may interfere with, obstruct the view of or be confused with any authorized traffic sign, signal or device; or c) which makes use of the words "STOP", "LOOK", "DRIVE-IN", "DANGER", or any other word, phrase, symbol, or character in such manner as to interfere with, mislead or confuse the motoring public.

Notwithstanding, the general requirements set forth in the preceding paragraph, no sign, billboard or other advertising structure shall be located: a) on a corner lot in all districts, in such a manner as to impede vision between a height of two and one-half (2-1/2) feet and ten (10) feet above the centerline elevations of the affected street and within an area bounded by the street right-of-way lines of a corner lot and a straight line joining points on said right-of-way lines twenty-five (25) feet from the point of intersection of said right-of-way lines; or b) in all districts, except "C-4", "TC", and one and two family residential lots, if erected within five (5) feet of a public right-of-way and within twenty-five (25) feet of a private access drive or adjoining building site boundary.

17.70.210 Signs Extending Over City Property. It shall be unlawful for any person to erect or maintain any sign or billboard which extends over public property or a public easement. An exception may be granted by the City Council for a marquee, canopy, awning, projecting sign or projection of a building sign in the "C-4" or "TC" District, if the building setback does not provide sufficient space to accommodate same. The posting of adequate insurance shall also be required to protect the City plus a sign permit.

17.70.220 Non-Conforming Signs. Any sign or billboard in existence at the time of the adoption of this ordinance which does not conform with the provisions of this chapter shall be considered non-conforming, and shall be removed, or altered to be made in compliance with this section prior to January 1, 2013. Any alteration or replacement of a non-conforming sign, shall conform to the requirements and standards of this chapter.

17.70.230 Revocation of Permits. The Zoning Administrator is hereby authorized and empowered to revoke any permits issued by him upon failure of the holder thereof to comply with any provisions of this chapter.

17.70.240 Jurisdiction of Norwalk Board of Adjustment. The Norwalk Board of Adjustment shall have jurisdiction for any requests for variances involving sign location, sign height, or sign size not

consistent with this chapter. The Board shall rule on any request in accordance with Section 17.04.190 of this ordinance.

**CITY OF NORWALK  
REPORT TO THE NORWALK PLANNING COMMISSION**

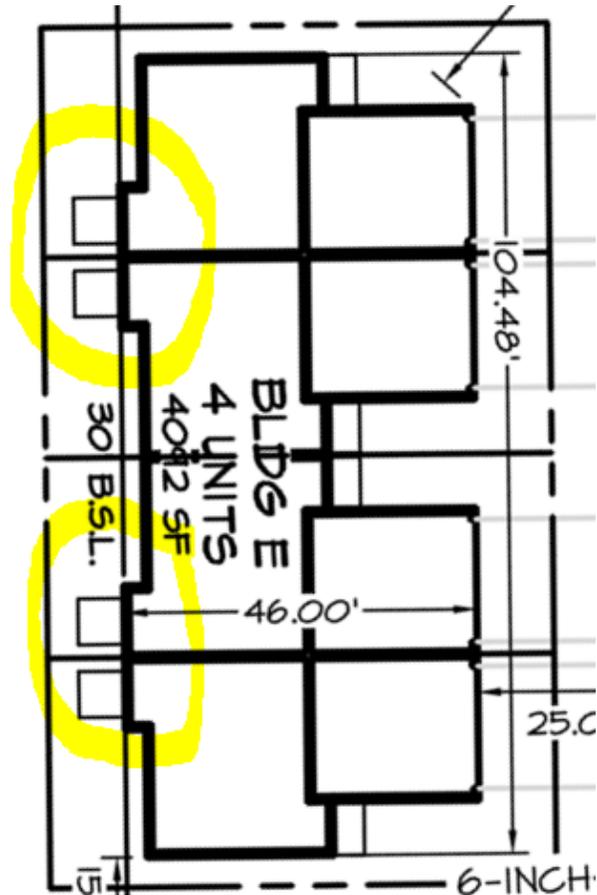
**REQUEST:** Request from Norwalk Land Co to amend the Site Plan of the *Norwalk Orchard View Townhomes*

**MEETING DATE:** August 8, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

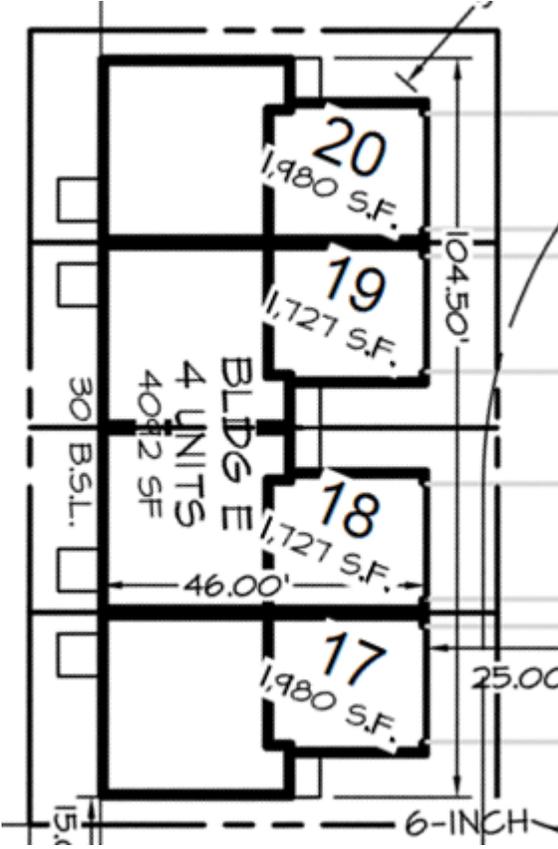
**APPLICANT(S):** Norwalk Land Co  
PO Box 267  
Johnston, Iowa 50263

**GENERAL DESCRIPTION:** The Norwalk Orchard View Townhomes was a 74 lot townhome development approved earlier this fall. The development included 4-unit buildings along the outer perimeter of the project and 6-unit buildings on the interior of the project. The original site plan showed the 4-unit buildings designed with an area extended out near the rear deck, as shown below:



**REQUEST:**

The amendment request is to have the entire rear of the 4-unit buildings flat with the start of the deck. This would allow for more living space inside of each unit. An example of the new 4-unit building is shown below.



**ARCHITECTURAL STANDARDS:**

The requested change only impacts the City's Architectural Standards which require that each wall façade must have a change in wall plane or exterior material type, texture, or color. The proposed amendment removes a change in the wall plane along the rear of the 4-unit buildings. However, the developer has indicated that each unit will use a different color of siding, which meets the requirement.



**STAFF ANALYSIS –  
ZONING ORDINANCE:**

Varying the color of each unit along meets the intent of the Architectural Standards to ensure that each dwelling unit is differentiated from the other. The new building footprints also fit within the already approved lot area for each unit.

**STAFF  
RECOMMENDATION:**

Staff recommends that the request for the amendment to the Site Plan for the Norwalk Orchard View Townhomes be approved with the following conditions:

- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations and Norwalk Zoning Ordinance.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

# NORNALK ORCHARD VIEW TOWNHOMES

## NORNALK, IA

J LARSON HOMES, L.L.C., 10604 NW 75TH PLACE, GRIMES, IA 50111 ATTN: JOHN LARSON



VICINITY SKETCH



### SHEET INDEX

SHEET #	SHEET TITLE
1	COVER
2	DIMENSION PLAN
3	UTILITY PLAN
4	GRADING PLAN
5	LANDSCAPE PLAN

### UTILITY CONTACTS:

SANITARY SEWER	- NORNALK PUBLIC WORKS DEPARTMENT (515-481-0228)
WATER MAIN	- NORNALK PUBLIC WORKS DEPARTMENT (515-481-0228)
STORM SEWER	- NORNALK PUBLIC WORKS DEPARTMENT (515-481-0228)
NATURAL GAS UTILITY	- MID AMERICAN ENERGY (515-252-6597)
ELECTRIC	- MID AMERICAN ENERGY (515-252-6597)

### AREAS:

BUILDINGS	= 66,691 S.F.	22.1%
IMPERVIOUS	= 85,851 S.F.	26.8%
OPEN SPACE	= 155,542 S.F.	50.5%
TOTAL	= 308,140 S.F.	100.0%

### QUANTITIES

#### SANITARY SEWER

PUBLIC- REFER TO PUBLIC IMPROVEMENT DRAWINGS	
511 LF.	8-INCH SANITARY SEWER
2 EA.	SW-301 SANITARY MANHOLE
2 EA.	SW-301 SANITARY MANHOLE W/ SW-307 DROP CONNECTION

#### PRIVATE-

616 LF.	8-INCH SANITARY SEWER
3 EA.	SW-301 SANITARY MANHOLE
16 EA.	6-INCH SANITARY SEWER SERVICE
16 EA.	SANITARY SEWER CLEANOUT

#### WATER MAIN

PUBLIC- REFER TO PUBLIC IMPROVEMENT DRAWINGS

1,762 LF.	8-INCH WATER MAIN
4 EA.	8"X8"X8" TEE
7 EA.	8-INCH VALVE
3 EA.	8-INCH 11.25° BEND
5 EA.	8-INCH 22.5° BEND
5 EA.	8-INCH 45° BEND
6 EA.	HYDRANT, TEE AND 6-INCH VALVE
5 EA.	6-INCH SERVICES W/MAINFOLD (SEE DETAIL)
11 EA.	4-INCH SERVICES W/MAINFOLD (SEE DETAIL)

#### STORM SEWER QUANTITIES

##### PRIVATE-

154 LF.	12-INCH RCP CL III
936 LF.	15-INCH RCP CL III
31 LF.	24-INCH RCP CL III
2 EA.	24-INCH RCP F.E.S.
1 EA.	24-INCH RCP F.E.S.
7 EA.	SW-501 INTAKE W/ SW-603 TYPE R CASTING
1 EA.	24"x36" SW-501 INTAKE W/ SW-603 TYPE R CASTING
4 EA.	48" DIA. SW-401 MANHOLE W/ SW-602 TYPE E CASTING
4 EA.	18" DIA. SW-512 AREA INTAKE W/ SW-604 TYPE 4A GRATE

#### PAVING

##### PRIVATE-

5,341 SY.	7-INCH NON-REINFORCED P.C.C. W/2.5" ROLL CURB (6-INCH CURB TO BE USED AT STREET INTAKES AND AT INTERSECTIONS W/ ORCHARD HILLS DRIVE. SEE PLAN) SUBGRADE PREPARATION
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##### PUBLIC-

665 LF.	HANDICAP PEDESTRIAN RAMPS W/ TRUNCATED DOMES
	5-FOOT WIDE SIDEWALK

### PARKING REQUIREMENTS

EACH UNIT IS REQUIRED TO HAVE AT LEAST 1 GARAGE STALL

VISITOR PARKING REQUIRED: 74 UNITS @ 1 SPACE / 10 UNITS = 8 SPACES

PARKING PROVIDED: 8 VISITOR SPACES, 148 SURFACE STALLS + 148 GARAGE STALLS = 304 SPACES PROVIDED

### ZONING:

EXISTING: ORCHARD VIEW P.U.D.

### P.U.D.:

ORCHARD VIEW P.U.D. - PARCEL 3

### SETBACKS:

MINIMUM SETBACK FROM PROPERTY BOUNDARIES - 35'  
MINIMUM BUILDING SEPARATION - 12'

### FLOOD ZONE:

ZONE 'X'  
FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 1918C0121F, REVISED OCTOBER 16, 2014.  
#  
ZONE 'X'  
FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 1918C0121F, REVISED OCTOBER 16, 2014.

### EASEMENT NOTES:

- ALL SANITARY SEWER EASEMENTS ARE TO BE 30 FEET WIDE OR TWO TIMES THE DEPTH, WHICHEVER IS GREATER.
- THE USE OF PUBLIC UTILITY EASEMENTS IS SUBORDINATE TO THE CITY'S USE OF ITS DESIGNATED EASEMENT.
- SOME LOTS ACCEPT DRAINAGE FROM ADJACENT PROPERTY. BUILDING ON THESE LOTS MUST TAKE INTO ACCOUNT UPSTREAM DRAINAGE.

### GENERAL NOTES

- ALL CONSTRUCTION (PUBLIC & PRIVATE) SHALL BE IN ACCORDANCE WITH THE 2015 EDITION OF SUDAS STANDARD SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
  - CITY OF NORNALK PUBLIC WORKS DEPARTMENT.
  - J LARSON HOMES, L.L.C.
  - CIVIL ENGINEERING CONSULTANTS, INC.
  - IOA ONE-CALL
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, BREAKAGE, INTERRUPTION OF SERVICE ETC. OF EXISTING FACILITIES DOES OCCUR THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER. DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY FARM TILE DAMAGE DURING CONSTRUCTION AND RECORDING LOCATION OF TILE.
- A GEOTECHNICAL REPORT FOR THIS PROJECT CAN BE OBTAINED BY CONTACTING THE OWNER.
- ANY CHANGES TO THE CONSTRUCTION DRAWINGS DURING CONSTRUCTION SHALL BE APPROVED IN WRITING BY THE CITY OF NORNALK PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN APPROVED IN WRITING BY THE CITY OF NORNALK PUBLIC WORKS DEPARTMENT.
- ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL CONDUCT CLEAN-UP, SURFACE RESTORATION, AND SURFACE REPLACEMENT ACTIVITIES AS CONSTRUCTION PROGRESSES. ALL DEBRIS SPILLED ON THE R.O.W. OR ON ADJACENT PROPERTY SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH DAY.
- IF DISCREPANCY EXISTS BETWEEN THE DETAILED PLANS AND THE QUANTITIES, THE PLANS SHALL GOVERN.
- THE CITY OF NORNALK REQUIRES ALL HANDICAP ACCESS RAMPS AND LANDING PADS TO BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS. SIDEWALKS AND TRAILS ARE NOT TO BE CONSTRUCTED AS PART OF THESE IMPROVEMENTS.
- THE 4-FLEX BUILDINGS SHALL BE REQUIRED TO HAVE VARIED SIDING COLORS BETWEEN UNITS TO BREAK UP THE APPEARANCE OF BUILDING MASS ALONG THE REAR ELEVATION.

### LEGAL DESCRIPTION

PARCEL 'A' OF OUTLOT 'X', NORNALK ORCHARD VIEW PLAT 3, AN OFFICIAL PARCEL RECORDED IN BOOK 2016, PAGE 6210 AT THE WARREN COUNTY RECORDER'S OFFICE, CITY OF NORNALK, WARREN COUNTY, IOWA AND CONTAINING 7.08 ACRES MORE OR LESS.

### CONSTRUCTION SCHEDULE

08/15/16 TO 08/30/16 - CLEARING, ROUGH GRADING, SILT FENCE, SEDIMENT BASINS & TEMPORARY SEEDING  
08/30/16 TO 09/15/16 - UTILITY CONSTRUCTION  
09/15/16 TO 10/15/16 - PAVING  
10/15/16 TO 10/31/16 - FINAL GRADING/SEEDING

### GENERAL LEGEND

PROPOSED	EXISTING
--- PLAT BOUNDARY	- - - - LOT LINE
--- SECTION LINE	- - - - SANITARY/STORM MANHOLE
--- LOT LINE	- - - - WATER VALVE
--- CENTERLINE	- - - - FIRE HYDRANT
- - - - EASEMENT LINE	- - - - STORM SEWER SINGLE INTAKE
- - - - FLARED END SECTION	- - - - STORM SEWER DOUBLE INTAKE
- - - - TYPE SW-501 STORM INTAKE	- - - - STORM SEWER ROUND INTAKE
- - - - TYPE SW-502 STORM INTAKE	- - - - FLARED END SECTION
- - - - TYPE SW-503 STORM INTAKE	- - - - DECIDUOUS TREE
- - - - TYPE SW-504 STORM INTAKE	- - - - CONIFEROUS TREE
- - - - TYPE SW-505 STORM INTAKE	- - - - SHRUB
- - - - TYPE SW-506 STORM INTAKE	- - - - POWER POLE
- - - - TYPE SW-511 STORM INTAKE	- - - - STREET LIGHT
- - - - TYPE SW-512 STORM INTAKE	- - - - GUY ANCHOR
- - - - TYPE SW-513 STORM INTAKE	- - - - ELECTRIC TRANSFORMER
- - - - TYPE SW-401 STORM MANHOLE	- - - - TELEPHONE RISER
- - - - TYPE SW-402 STORM MANHOLE	- - - - SIGN
- - - - TYPE SW-403 STORM MANHOLE	- - - - UNDERGROUND TELEVISION
- - - - TYPE SW-301 SANITARY MANHOLE	- - - - UNDERGROUND ELECTRIC
- - - - TYPE SW-302 SANITARY MANHOLE	- - - - UNDERGROUND GAS
- - - - TYPE SW-304 SANITARY MANHOLE	- - - - UNDERGROUND FIBER OPTIC
- - - - STORM/SANITARY CLEANOUT	- - - - UNDERGROUND TELEPHONE
- - - - WATER VALVE	- - - - OVERHEAD ELECTRIC
- - - - FIRE HYDRANT ASSEMBLY	- - - - SANITARY SEWER WITH SIZE
- - - - BLOW-OFF HYDRANT	- - - - STORM SEWER WITH SIZE
- - - - DETECTABLE WARNING PANEL	- - - - WATER MAIN WITH SIZE
- - - - SANITARY SEWER WITH SIZE	- - - - EXISTING CONTOUR
- - - - SANITARY SERVICE	- - - - TREELINE
- - - - STORM SERVICE	- - - - BUILDING SETBACK LINE
- - - - WATER SEWER WITH SIZE	- - - - PUBLIC UTILITY EASEMENT
- - - - WATER SERVICE	- - - - MINIMUM OPENING ELEVATION
- - - - PROPOSED CONTOUR	
- - - - SILT FENCE	
- - - - RIP RAP	
- - - - ADDRESS	

### BENCHMARKS

BRASS PLUG IN HEADWALL OF REINFORCED BOX CULVERT, AT NORTHWEST CORNER OF INTERSECTION OF IOWA HIGHWAY 28 AND ELM AVENUE. ELEVATION-----874.40  
BURY BOLT ON HYDRANT, AT NORTHEAST CORNER OF INTERSECTION OF ASPEN DRIVE AND ELM AVENUE. ELEVATION-----924.44  
CUT 'X' INTERSECTION SYCAMORE DRIVE AND ELM AVENUE. ELEVATION-----934.71

### CERTIFICATIONS

	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.  BY: MICHAEL D. MORGAN DATE: _____ IOWA REG. NO. 363 PAGES OR SHEETS COVERED BY THIS SEAL: SHEET 5
	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  JEFFREY A. GADDIS, IOWA LICENSE NO. 18381 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016 PAGES OR SHEETS COVERED BY THIS SEAL: 1 - 2
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.  MELISSA M. HILTY, IOWA REG. NO. 16023 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2011 PAGES OR SHEETS COVERED BY THIS SEAL: 1 - 5

Civil Engineering Consultants, Inc.  
2400 86th Street Unit 12 Des Moines, Iowa 50322  
515.276.4884 Fax: 515.276.7084 mail@cecinc.com



DATE:	REVISIONS	COMMENTS
09/21/2016	1	04/18/2016
	2	07/22/2016
	3	08/02/2016
	4	08/08/2016
	5	08/25/2016
	6	10-26-2016

NORNALK ORCHARD VIEW TOWNHOMES  
NORNALK, IA  
COVER

SHEET 1 OF 5  
E-7442

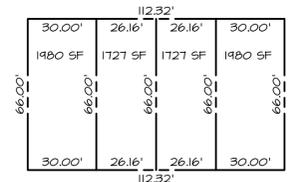


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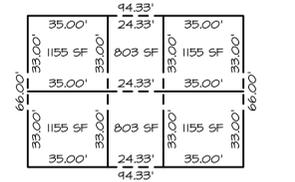


DATE:	REVISIONS	COMMENTS
09/21/2016	1	04/18/2016
	2	07/22/2016
	3	08/02/2016
	4	08/08/2016
	5	09/25/2016
	6	10-26-2016

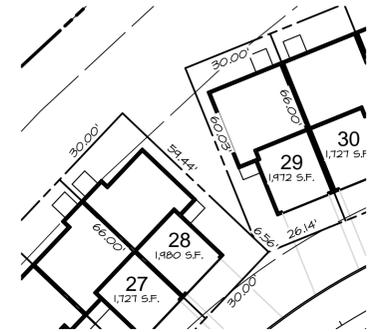
**NORWALK ORCHARD VIEW TOWNHOMES**  
 NORWALK, IA  
**DIMENSION PLAN**



TYPICAL LOT DIMENSIONS  
 4 UNIT TOWNHOME



TYPICAL LOT DIMENSIONS  
 6 UNIT CONDOMINIUM



NON-TYPICAL LOT DIMENSION  
 LOT 24  
 1" = 30'



NON-TYPICAL LOT DIMENSION  
 LOT 40  
 1" = 30'

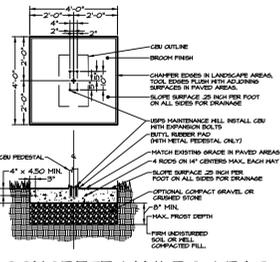
LINE #	DIRECTION	LENGTH
L1	S42°56'58"W	71.91'
L2	S42°56'58"W	58.74'
L3	S42°56'58"W	13.16'
L4	S23°14'22"E	190.62'
L5	S69°16'56"E	230.45'
L6	S69°16'56"E	90.10'
L7	S69°16'56"E	135.07'
L8	S69°16'56"E	5.28'
L9	S00°43'04"W	12.88'
L10	S10°06'35"E	18.73'
L11	S31°34'33"E	117.04'
L12	S31°34'33"E	45.07'



D = 31°44'20"  
 R = 736.80'  
 L = 408.15'  
 T = 209.46'  
 CH = 402.95'  
 CB = S15°42'23"E

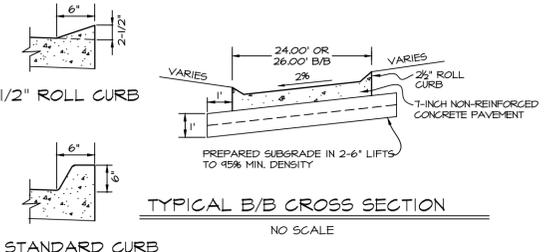


SCALE: 1" = 40'



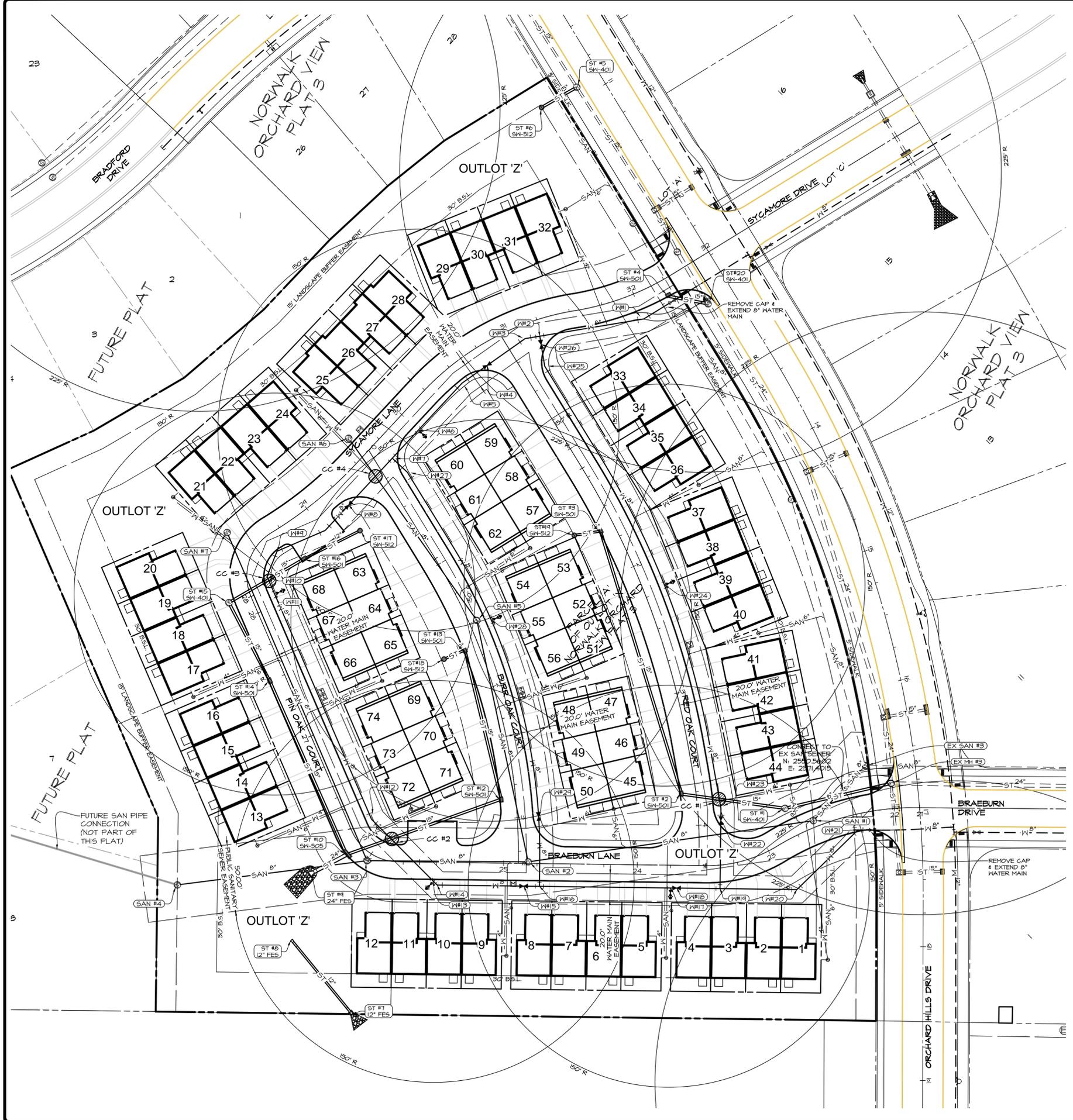
CONCRETE MAILBOX PAD - SINGLE UNIT DETAIL  
 NOT TO SCALE

- NOTES:
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4# MIN. - 6# MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3/8" - 4/50 SLUMP IN ACCORDANCE WITH ACI 308.
  - REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.
  - USPS MAINTENANCE HILL USE EXPANSION BOLTS TO INSTALL CURB.



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	22°14'50"	200.00'	71.66'	39.32'	71.71'	S64°36'04"W
C2	0°42'51"	200.00'	2.50'	1.25'	2.50'	S58°50'13"W
C3	21°51'53"	200.00'	75.16'	38.03'	74.72'	S64°51'38"W
C4	37°46'31"	200.00'	131.87'	68.43'	124.44'	S61°50'16"W
C5	16°50'40"	200.00'	58.80'	29.61'	58.59'	S72°18'15"W
C6	20°55'51"	200.00'	73.07'	36.95'	72.66'	S53°24'56"W
C7	15°47'45"	300.00'	82.71'	41.62'	82.45'	S50°50'50"W
C8	82°04'05"	38.00'	54.43'	33.07'	44.89'	S17°42'40"W

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C9	65°57'34"	38.00'	43.75'	24.66'	41.37'	S56°10'04"W
C10	31°52'35"	100.00'	55.63'	28.56'	54.92'	N74°46'46"E
C11	31°38'05"	200.00'	110.43'	56.66'	109.03'	N74°34'32"E
C12	22°03'36"	200.00'	77.00'	38.48'	76.53'	S64°52'17"W
C13	4°34'24"	200.00'	33.42'	16.75'	33.38'	S85°41'20"W
C14	10°44'38"	300.00'	56.69'	28.43'	56.61'	S04°41'45"E
C15	21°27'58"	600.00'	224.79'	113.73'	223.48'	S20°50'34"E
C16	32°35'24"	420.00'	238.90'	122.78'	235.64'	S15°16'51"E



**NOTE:**  
 FG ELEVATIONS IN TABLE REPRESENT FINISH GRADE ELEVATION AT STRUCTURES.

WATER STRUCTURE TABLE			
NAME	LOCATION	DETAILS	
W#1	8-INCH 22.5° BEND	STA. 32+00.00, 20.0' RT. $\phi$	FG ELEV = 943.25
W#2	8"X8"X8' TEE	STA. 31+23.32, 12.30' RT. $\phi$	FG ELEV = 944.14
W#3	8-INCH 22.5° BEND	STA. 31+11.54, 10.25' RT. $\phi$	FG ELEV = 944.42
W#4	8-INCH VALVE	STA. 30+75.00, 15.30' RT. $\phi$	FG ELEV = 945.14
W#5	8-INCH 45° BEND	STA. 30+50.00, 17.00' RT. $\phi$	FG ELEV = 945.85
W#6	HYDRANT, TEE & 6-INCH VALVE	STA. 30+00.00, 17.00' RT. $\phi$	FG ELEV = 946.42
W#7	8"X8"X8' TEE	STA. 29+71.33, 17.00' RT. $\phi$	FG ELEV = 946.05
W#8	8-INCH VALVE	STA. 29+25.00, 18.15' RT. $\phi$	FG ELEV = 945.67
W#9	8-INCH 45° BEND	STA. 28+62.41, 13.76' RT. $\phi$	FG ELEV = 944.67
W#10	8-INCH 45° BEND	STA. 28+28.81, 15.15' RT. $\phi$	FG ELEV = 944.47
W#11	HYDRANT, TEE & 6-INCH VALVE	STA. 28+08.00, 17.00' RT. $\phi$	FG ELEV = 944.25
W#12	8-INCH 22.5° BEND	STA. 26+25.00, 17.00' RT. $\phi$	FG ELEV = 941.72
W#13	HYDRANT, TEE & 6-INCH VALVE	STA. 25+52.16, 14.32' LT. $\phi$	FG ELEV = 941.53
W#14	8-INCH 45° BEND	STA. 25+49.41, 17.00' LT. $\phi$	FG ELEV = 941.66
W#15	8-INCH VALVE	STA. 24+84.74, 17.00' LT. $\phi$	FG ELEV = 942.28

**WATER NOTE:**  
 1. REFER TO PUBLIC IMPROVEMENT DRAWINGS FOR ALL WATER MAIN CONSTRUCTION.

WATER STRUCTURE TABLE			
NAME	LOCATION	DETAILS	
W#16	8"X8"X8' TEE	STA. 24+72.83, 17.00' LT. $\phi$	FG ELEV = 942.37
W#17	HYDRANT, TEE & 6-INCH VALVE	STA. 23+75.00, 17.00' LT. $\phi$	FG ELEV = 943.38
W#18	8-INCH VALVE	STA. 23+70.33, 17.00' LT. $\phi$	FG ELEV = 943.52
W#19	8"X8"X8' TEE	STA. 23+39.44, 17.44' LT. $\phi$	FG ELEV = 943.42
W#20	8-INCH 45° BEND	STA. 22+45.79, 35.44' LT. $\phi$	FG ELEV = 943.54
W#21	8-INCH 45° BEND	STA. 22+30.10, 11.70' LT. $\phi$	FG ELEV = 940.14
W#22	8-INCH VALVE	STA. 3+47.50, 16.69' LT. $\phi$	FG ELEV = 942.61
W#23	8-INCH 112.5° BEND	STA. 3+88.96, 17.42' LT. $\phi$	FG ELEV = 942.82
W#24	HYDRANT, TEE & 6-INCH VALVE	STA. 2+21.36, 16.00' LT. $\phi$	FG ELEV = 944.13
W#25	8-INCH 22.5° BEND	STA. 0+37.44, 16.00' LT. $\phi$	FG ELEV = 945.25
W#26	8-INCH VALVE	STA. 0+22.37, 22.17' LT. $\phi$	FG ELEV = 944.34
W#27	8-INCH 112.5° BEND	STA. 0+24.13, 16.00' LT. $\phi$	FG ELEV = 946.25
W#28	HYDRANT, TEE & 6-INCH VALVE	STA. 1+54.15, 16.00' LT. $\phi$	FG ELEV = 944.76
W#29	8-INCH VALVE	STA. 3+00.00, 16.00' LT. $\phi$	FG ELEV = 943.02
W#30	8-INCH 22.5° BEND	STA. 24+00.00, 21.38' RT. $\phi$	FG ELEV = 944.83

SANITARY STRUCTURE TABLE			
NAME	LOCATION	DETAILS	
EX SAN #3	48" SW-301 MANHOLE & SW-307 DROP CONNECTION W/SH-601 A CASTING	STA. 16+54.90, 31.00' RT. $\phi$	RIM = 940.47 OUT NE = 914.05
SAN #1	48" SW-301 MANHOLE W/SH-601 B CASTING	STA. 22+60.34, 5.01' RT. $\phi$	RIM = 941.21 IN N = 914.44 OUT NE = 914.28
SAN #2	48" SW-301 MANHOLE & SW-307 DROP CONNECTION W/SH-601 B CASTING	STA. 24+81.55, 1.16' RT. $\phi$	RIM = 942.10 IN N = 915.40 IN N = 931.22 OUT E = 915.30
SAN #3	48" SW-301 MANHOLE & SW-307 DROP CONNECTION W/SH-601 B CASTING	STA. 26+00.00, 6.00' LT. $\phi$	RIM = 941.08 IN N = 915.48 IN N = 930.88 OUT E = 915.88
SAN #4	48" SW-301 MANHOLE W/SH-601 A CASTING	STA. 26+37.51, 135.75' LT. $\phi$	RIM = 939.77 OUT E = 916.56
SAN #5	48" SW-301 MANHOLE W/SH-601 B CASTING	STA. 15+50.00, 6.00' LT. $\phi$	RIM = 944.43 IN N = 935.00 OUT S = 934.90
SAN #6	48" SW-301 MANHOLE W/SH-601 B CASTING	STA. 24+60.00, 17.00' LT. $\phi$	RIM = 946.72 OUT SE = 937.00
SAN #7	48" SW-301 MANHOLE W/SH-601 B CASTING	STA. 28+50.00, 24.00' LT. $\phi$	RIM = 945.41 OUT SE = 935.67

SANITARY PIPE TABLE			
PIPE	DIA.	LENGTH	SLOPE
EX SAN TO SAN #1	8" PVC	32 LF.	0.40%
SAN #2 TO SAN #5	8" PVC	184 LF.	2.00%
SAN #5 TO SAN #1	8" PVC	266 LF.	1.80%
SAN #1 TO SAN #2	8" PVC	215 LF.	0.40%
SAN #2 TO SAN #3	8" PVC	121 LF.	0.40%
SAN #3 TO SAN #4	8" PVC	143 LF.	0.40%
SAN #5 TO SAN #6	8" PVC	166 LF.	1.20%
TO EX SAN #3	8" PVC	25 LF.	0.40%

STORM PIPE TABLE			
PIPE	DIA.	LENGTH	SLOPE
ST #1 TO EX MH #3	15" RCP CLASS III	81 LF.	4.50%
ST #2 TO ST #1	15" RCP CLASS III	74 LF.	1.00%
ST #3 TO ST #2	15" RCP CLASS III	205 LF.	1.00%
ST #4 TO ST #3	15" RCP CLASS III	30 LF.	2.00%
ST #6 TO ST #5	15" RCP CLASS III	30 LF.	1.00%
ST #8 TO ST #7	12" RCP CLASS III	71 LF.	1.40%
ST #10 TO ST #9	24" RCP CLASS III	31 LF.	1.00%
ST #12 TO ST #10	15" RCP CLASS III	122 LF.	1.38%
ST #13 TO ST #12	15" RCP CLASS III	115 LF.	1.00%
ST #14 TO ST #10	15" RCP CLASS III	142 LF.	1.84%
ST #15 TO ST #14	15" RCP CLASS III	65 LF.	1.00%
ST #17 TO ST #16	12" RCP CLASS III	47 LF.	1.00%
ST #18 TO ST #13	12" RCP CLASS III	16 LF.	1.00%
ST #19 TO ST #3	12" RCP CLASS III	20 LF.	0.50%

**SANITARY NOTE:**  
 1. REFER TO PUBLIC IMPROVEMENT DRAWINGS FOR CONSTRUCTION OF SANITARY #1 - #4 & EX SAN #3.

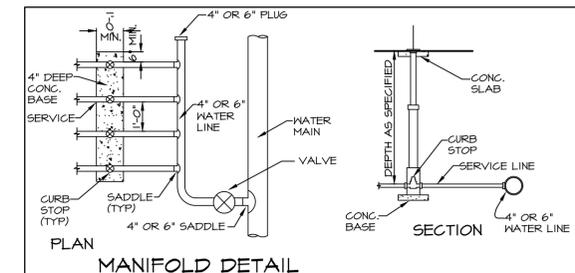
SW-401 MANHOLE TABLE			
NAME	LOCATION	DETAILS	
EX MH #3	60" SW-401 MANHOLE W/SH-602 F CASTING	STA. 16+75.86, 14.50' RT. $\phi$	RIM = 939.48 IN N = 933.22 OUT E = 931.80
ST #4	SW-401 MANHOLE W/SH-602 E CASTING	STA. 22+75.00, 22.00' RT. $\phi$	RIM = 942.15 IN N = 938.98 OUT E = 936.88
ST #5	SW-401 MANHOLE W/SH-602 E CASTING	STA. 10+40.84, 14.62' RT. $\phi$	RIM = 944.38 IN N = 940.44 OUT S = 940.84
ST #15	SW-401 MANHOLE W/SH-602 E CASTING	STA. 28+15.00, 17.00' LT. $\phi$	RIM = 944.14 IN N = 939.38 OUT SE = 939.28
ST#20	SW-401 MANHOLE W/SH-602 F CASTING	STA. 12+80.00, 20.68' RT. $\phi$	RIM = 942.37 IN N = 938.13

PAVEMENT INTAKE TABLE		
NAME	LOCATION	DETAILS
ST #2 SW-501 INTAKE W/SH-603 R GRATE	STA. 3+75.00, 12.00' RT. $\phi$	GRATE = 942.54 IN N = 937.88 OUT E = 937.18
ST #3 SW-501 INTAKE W/SH-603 R GRATE	STA. 1+65.00, 12.00' RT. $\phi$	GRATE = 944.44 IN N = 940.13 OUT S = 939.93
ST #4 SW-501 INTAKE W/SH-603 R GRATE	STA. 32+22.46, 13.00' RT. $\phi$	GRATE = 942.66 OUT E = 938.72
ST #10 SW-505 INTAKE W/SH-603 R GRATES	STA. 26+11.75, 13.00' RT. $\phi$	GRATE = 941.43 IN N = 935.91 OUT SW = 935.31
ST #12 SW-501 INTAKE W/SH-603 R GRATE	STA. 2+85.24, 12.00' RT. $\phi$	GRATE = 942.96 IN N = 937.64 OUT N = 937.59
ST #13 SW-501 INTAKE W/SH-603 R GRATE	STA. 1+67.00, 12.00' RT. $\phi$	GRATE = 944.36 IN N = 939.04 OUT S = 938.84
ST #14 SW-501 INTAKE W/SH-603 R GRATE	STA. 27+50.00, 13.00' LT. $\phi$	GRATE = 943.11 IN N = 938.62 OUT SE = 938.52
ST #16 SW-501 INTAKE W/SH-603 R GRATE	STA. 28+71.84, 30.50' RT. $\phi$	GRATE = 944.11 IN NE = 940.23 OUT SW = 940.03

SW-512 INTAKE TABLE			
NAME	LOCATION	DETAILS	
ST #6	18" SW-512 INTAKE W/SH-604 4A GRATE	STA. 10+84.98, 50.00' RT. $\phi$	GRATE = 943.80 OUT NE = 941.24
ST #7	18" SW-512 INTAKE W/SH-604 4A GRATE	STA. 29+49.20, 38.00' RT. $\phi$	GRATE = 944.62 OUT SW = 940.70
ST #18	18" SW-512 INTAKE W/SH-604 4A GRATE	STA. 1+67.51, 27.90' RT. $\phi$	GRATE = 944.77 OUT NE = 939.20
ST #19	18" SW-512 INTAKE W/SH-604 4A GRATE	STA. 1+58.78, 24.92' RT. $\phi$	GRATE = 943.43 OUT E = 940.23

STORM F.E.S. TABLE		
NAME	LOCATION	DETAILS
ST #1 12" FES	STA. 25+87.11, 11.50' LT. $\phi$	FE = 933.00
ST #8 12" FES	STA. 26+04.88, 81.28' LT. $\phi$	FE = 934.00
ST #4 24" FES	STA. 26+14.75, 43.54' LT. $\phi$	FE = 935.00

**STORM NOTE:**  
 1. EX MH #3 & EX MH #10 MAY NEED TO HAVE RIMS ADJUSTED TO MATCH THE RIM ELEVATIONS SHOWN IN THE TABLE. VERIFY THE ASBUILT ELEVATIONS PRIOR TO CONSTRUCTION.  
 2. ST #5 AND ST#20 ARE TO BE CONSTRUCTED OVER THE EXISTING STORM SEWER. VERIFY THE EXISTING FE'S AND POUR CONCRETE COLLARS & WELL DEFINED INVERTS. BASE SHALL BE FURRED IN PLACE.



**NOTE:** USE 4" WATER LINE FROM MAIN TO MANIFOLD FOR ALL 4-FLEX BUILDINGS. ALL BUILDINGS GREATER THAN 4 UNITS SHALL HAVE A 6" WATER LINE FROM MAIN TO MANIFOLD.

**CRITICAL CROSSINGS**  
 CC#1 FE 15" RCP = 938.12  
 FG. = 942.80  
 TOP 8-INCH WATER = 936.62  
 CC#2 FE 15" RCP = 937.00  
 FG. = 941.75  
 TOP 8-INCH WATER = 935.35  
 CC#3 FE 15" RCP = 940.37  
 FG. = 944.46  
 TOP 8-INCH WATER = 938.62  
 CC#4 TOP 8" SAN = 937.48  
 FG. = 945.88  
 BOTTOM 8" WATER = 934.31

**IOWA ONE CALL**  
 1-800-292-9899  
 www.iowaonecall.com

**NORTH**

**SCALE: 1" = 40'**

**Civil Engineering Consultants, Inc.**  
 2400 86th Street Unit 12 Des Moines, Iowa 50322  
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com

**CEC**

**NORWALK ORCHARD VIEW TOWNHOMES**  
 NORWALK, IA

**UTILITY PLAN**

**SHEET 3 OF 5**

**E-7442**

DATE	REVISIONS	COMMENTS
09/21/2016	1	04/18/2016
	2	07/22/2016
	3	08/02/2016
	4	08/08/2016
	5	09/25/2016
	6	10-26-2016

DATE OF SURVEY: 03/15/2016  
 DESIGNED BY: PPH  
 DRAWN BY: CM



**GRADING AND EROSION CONTROL NOTES**

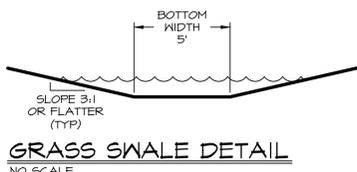
1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
2. ALL SPOT ELEVATIONS ARE AT GUTTER, UNLESS NOTED OTHERWISE.
3. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
4. AREAS TO RECEIVE FILL TO BE BENCHED.
5. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL.
6. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12-INCHES DISCED AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY.
7. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL MATCH URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, BETWEEN 0 AND 4% OVER OPTIMUM MOISTURE.
8. UNLESS GRADING FOR A DESIGNED SUMP OR LOW POINT AREA, GRADE ALL SITE AREAS TO DRAIN WITHOUT TRAPPING OR PONDING SURFACE WATER WHEN SITE GRADING IS COMPLETE.
9. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
10. TOPSOIL SHALL BE RESPREAD TO A MINIMUM THICKNESS OF 4-INCHES ON ALL DISTURBED UNPAVED AREAS.
11. BACKFILL TO TOP OF ALL CURBS.
12. GRADING & TREE PROTECTION LIMITS SHALL BE STAKED PRIOR TO ANY TREE REMOVAL.
13. CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER.
14. A GEOTECHNICAL REPORT FOR THIS PROJECT CAN BE OBTAINED BY CONTACTING THE ENGINEER AND ASKING FOR GEOTECHNICAL EXPLORATION REPORT. THE CONTRACTOR SHALL REFER TO AND FOLLOW THE RECOMMENDATIONS OF ALLENDER-BUTZKES GEOTECHNICAL REPORT PN 131244 DATED OCTOBER 31, 2013.
15. STREET PAVEMENT SUBGRADE SHALL BE COMPACTED PER THE GUIDELINES IN THE GEOTECHNICAL EXPLORATION REPORT REFERENCED IN NOTE 15.
16. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH SDAS SECTION 9040. BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL (CPESC). A CPESC IS A RECOGNIZED SPECIALIST IN SOIL EROSION AND SEDIMENT CONTROL. THE SOIL AND WATER CONSERVATION SOCIETY AND THE INTERNATIONAL EROSION CONTROL ASSOCIATION, IN COOPERATION WITH THE AMERICAN SOCIETY OF AGRONOMY, SPONSOR THE CERTIFICATION PROGRAM. CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL.
17. ALL SLOPES SHALL BE 3:1 OR FLATTER FOR THE SITE.
18. A REGIONAL STORM WATER DETENTION & SEDIMENT BASIN IS LOCATED IN ORCHARD TRAIL PLAT 4. REFER TO THE SWPPP PLAN FOR THAT PLAT & NPDES PERMIT NO. 25444-25701. THE REGIONAL BASIN IS LOCATED IN OUTLOT 'Z', ORCHARD VIEW PLAT 4 AND PROVIDES DETENTION FOR THE EAST 3.0 ACRES OF THIS SITE.

**MULCHING TABLE**

1. DRY STRAW OR HAY, 2 TONS PER ACRE. ANCHOR STRAW WITH MULCH TILLER OR ASPHALT TACT @ 1200 PER ACRE.
2. WOOD CHIPS OR BARK, 10-12 TONS PER ACRE.

**QUANTITIES**

143,251 SF	SEEDING (TYPE II EROSION CONTROL MIX)
1,940 LF	SILT FENCE
12 EA	INLET FILTERS
7 TN	DRY STRAW OR HAY MULCH (2 TN / ACRE)
33 TN	CLASS E RIP RAP

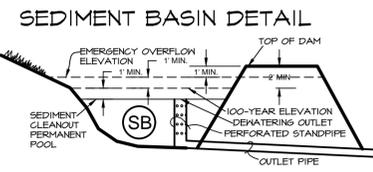


**SEEDING NOTES**

1. FERTILIZER (16-16-16) SHALL BE APPLIED TO THE AREA TO BE SEEDED AT A RATE OF 650 LBS/ACRE.
2. THE AREA TO BE SEEDED SHALL BE SMOOTH, AND ALL WASHED AND GULLIES FILLED TO MEET THE DESIRED CROSS SECTION. AREAS ACCESSIBLE TO MACHINERY SHALL BE CULTIVATED TO A DEPTH OF 3". AREAS INACCESSIBLE TO MACHINE SHALL BE CULTIVATED TO A DEPTH OF 1 1/2 INCHES.
3. THE FERTILIZER SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 3" WITH A MECHANICAL ROCK PICKER OR A SPRING TOOTH CULTIVATOR.
4. ON ALL AREAS ACCESSIBLE TO MACHINERY, A DROP-TYPE SEEDER ATTACHED TO A LANDSCAPE ROLLER SHALL BE USED TO SOW THE GRASS SEED. ON AREAS INACCESSIBLE TO MACHINERY A CYCLONE SEEDER WILL BE PERMITTED. NO OTHER HAND SEEDING METHOD IS ACCEPTABLE.
5. ALL SEEDED AREAS SHALL BE MULCHED IMMEDIATELY AFTER SEEDING BY APPLYING 2 TONS OF DRY MULCH PER ACRE.
6. THE MULCH MAY CONSIST OF STRAW (OAT, WHEAT, BARLEY OR RYE), HAY, BROMEGRASS, TIMOTHY, ORCHARD GRASS, ALFALFA OR CLOVER SHALL NOT BE USED. ALL MATERIAL MUST BE FREE FROM ALL NOXIOUS WEEDS.
7. ALL SEEDED AREAS SHALL BE WATERED ARTIFICIALLY A MINIMUM OF TWICE A DAY FOR THE FIRST WEEK AFTER INSTALLATION, AND ONCE A DAY DURING THE SECOND AND THIRD WEEK AFTER INSTALLATION.

**LEGEND**

EXISTING/PROPOSED	FLAT BOUNDARY
SAN 8"	SANITARY SEWER # & SIZE
ST 8"	STORM SEWER # & SIZE
LA 8"	WATER MAIN # & SIZE
MANHOLE	MANHOLE
STORM INTAKE	STORM INTAKE
FIRE HYDRANT	FIRE HYDRANT
VALVE	VALVE
EXISTING FENCE	EXISTING FENCE
SILT FENCE	SILT FENCE
INLET FILTER	INLET FILTER
EXISTING / PROPOSED STREET TREES	EXISTING / PROPOSED STREET TREES
EXISTING / PROPOSED TREELINE	EXISTING / PROPOSED TREELINE
PROPOSED TREE PROTECTION FENCING	PROPOSED TREE PROTECTION FENCING



12" PERFORATED STAND PIPE OVERFLOW @ 441.00, 100% STORAGE ELEV = 436.20 TOP OF STAND PIPE = 431.50, INVERT OUT = 434.00 2 HORIZ ROWS @ 4.0' O.C. OF 4 - 2" EVENLY SPACED STARTING @ ELEV = 436.20

**BENCHMARK**  
BRASS PLUG IN HEADWALL OF REINFORCED BOX CULVERT AT NORTHWEST CORNER OF INTERSECTION OF IOWA HIGHWAY 20 AND ELM AVENUE. ELEVATION = 874.90  
BURY BOLT ON HYDRANT, AT NORTHEAST CORNER OF INTERSECTION OF ASPEN DRIVE AND ELM AVENUE. ELEVATION = 824.44  
CUT 'X' INTERSECTION SYCAMORE DRIVE AND ELM AVENUE. ELEVATION = 834.71

**GRASS SWALE INSPECTION & MAINTENANCE**

ACTIVITY	SCHEDULE
MOW GRASS TO MAINTAIN HEIGHT OF 3-6 INCHES	AS NEEDED (FREQUENTLY/SEASONALLY)
REMOVE SEDIMENT BUILDUP IN THE BOTTOM OF THE GRASS SWALE ONCE IT HAS ACCUMULATED TO 25% OF ORIGINAL DESIGN VOLUME.	AS NEEDED (INFREQUENTLY)
INSPECT GRASS ALONG SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES AND CORRECT.	ANNUALLY (SEMI ANNUALLY THE FIRST YEAR)
REMOVE TRASH AND DEBRIS ACCUMULATED IN THE CHANNEL.	AS NEEDED BASED ON INSPECTION
BASED ON INSPECTION, PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED.	ROUTINE

**DRY DETENTION/DRY ED BASIN INSPECTION & MAINTENANCE**

ACTIVITY SCHEDULE	
REMOVE DEBRIS FROM BASIN SURFACE TO MINIMIZE OUTLET CLOGGING AND IMPROVE AESTHETICS. INSPECT INSTALLED LOW-FLOW ORIFICES IN ED BASINS FOR CLOGGING	ANNUALLY AND FOLLOWING SIGNIFICANT STORM EVENTS
REMOVE SEDIMENT BUILDUP. REPAIR AND RE-VEGETATE ERODED AREAS. PERFORM STRUCTURAL REPAIRS TO INLET AND OUTLETS	AS NEEDED BASED ON INSPECTION
MOW TO LIMIT UNWANTED VEGETATION	ROUTINE

**IOWA ONE CALL**  
1-800-292-9899  
www.iowaonecall.com

**NORTH**

**SCALE: 1"=40'**

**Civil Engineering Consultants, Inc.**  
2400 86th Street Unit 12 Des Moines, Iowa 50322  
515.276.4884 Fax: 515.276.7084 mail@cecinc.com

**CEC**

DATE	REVISIONS	COMMENTS
09/21/2016	1	04/18/2016
	2	07/22/2016
	3	08/02/2016
	4	08/08/2016
	5	09/25/2016
	6	10-26-2016

DATE OF SURVEY: 03/15/2016  
DESIGNED BY: MHH  
DRAWN BY: CM

**NORMALK ORCHARD VIEW TOWNHOMES**  
NORMALK, IA

**GRADING PLAN**

SHEET 4 OF 5  
E-7442

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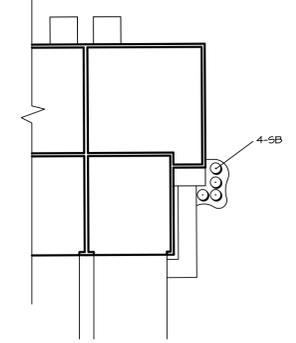
**PLANTING SCHEDULE**

AR	21	Acer rubrum Red Maple	2" Cal.	B4B	See Plan
GB	4	Quercus bicolor Swamp White Oak	2" Cal.	B4B	See Plan
GT	21	Gleditsia triacanthos 'skyline' Skyline Honeylocust	2" Cal.	B4B	See Plan
UA	4	Ulmus americana American Elm	3" Cal.	B4B	See Plan
PT	7	Populus tremuloides Quaking Aspen	3" Cal.	Cont.	See Plan
CC	14	Crataegus crusgalli 'cockspur' Thornless Hawthorn	1 1/2" Cal.	Cont.	See Plan
ER	6	Cercis canadensis Eastern Redbud	1 1/2" Cal.	Cont.	Multi-trunk See Plan
MP	21	Malus species Prairiefire Crabapple	1 1/2" Cal.	Cont.	See Plan
PS	6	Pinus strobus White Pine	6'-8" Ht.	T5/B4B	See Plan
PG	20	Picea glauca densata Black Hills Spruce	6'-8" Ht.	T5/B4B	See Plan
AC	17	Abies concolor White Fir	6'-8" Ht.	T5/B4B	See Plan
JC	50	Juniperus chinensis Sea Green Juniper	#3	Cont.	See Plan
CD	85	Caryopteris divaricata 'Snow Fairy' Variegated Blue Mist Spirea	#2	Cont.	See Plan
MF	72	Neigela Florida 'Verveig' Mj Monet Heigela	#2	Cont.	See Plan
VT	74	Viburnum trilobum American Cranberry Bush Viburnum	#2	Cont.	See Plan
DS	46	Dierilla sessilifolia Cool Splash Honeysuckle	#2	Cont.	See Plan
CA	86	Galatagrostis x acutiflora Karl Foerster Grass	#2	Cont.	See Plan
BW	14	Asclepias tuberosa Butterfly Weed	#2	Cont.	See Plan
SB	20	Spiraea x bumalda 'Anthony Waterer' Anthony Waterer Spirea	#2	Cont.	See Plan
PC	11	Prunus cerasifera Purple Leaf Plum	2" Cal.	Cont.	See Plan

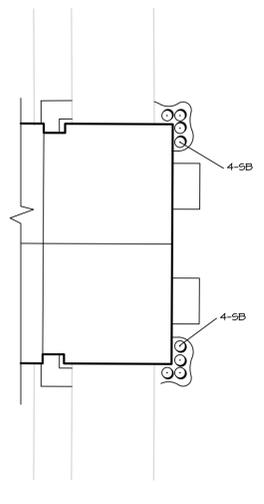
**PLANTING NOTES**

- ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH WEST DES MOINES STANDARD SPECIFICATIONS UNLESS SPECIFIED OTHERWISE.  
[http://www.wdm-ia.com/NDM\\_Metro%20Design%20Standards/](http://www.wdm-ia.com/NDM_Metro%20Design%20Standards/)
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1986).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNERS REPRESENTATIVE AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT AND THE CITY.
- 2" TO 3" CALIFER DECIDUOUS TREES SHALL BE STAKED (2 STAKES) AND WRAPPED IMMEDIATELY AFTER PLANTING. ALL CONIFERS SHALL BE STAKED (2 STAKES).
- ALL TREES, SHRUBS, BEDS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, DRAWING SHALL PREVAIL WHERE CONFLICT OCCURS.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT CIVIL ENGINEERING CONSULTANTS, INC. (TELEPHONE 515-276-4884).
- THE CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
- ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5' FROM R.O.M. AND CONIFEROUS TREES AT LEAST 10' FROM R.O.M.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP CORDS ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.
- ALL METERS AND MECHANICAL TO BE SCREENED BY PLANTINGS OR SCREEN WALL.
- NO OVERSTORY TREES ARE ALLOWED WITHIN PUBLIC SANITARY AND STORM SEWER EASEMENTS.
- SEEDING
  - SOW SEED WITH DRILL-TYPE SEEDING MACHINE. EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
  - DO NOT USE WET SEED OR SEED THAT IS MOLDY OR OTHERWISE DAMAGED.
  - DO NOT SEED AGAINST EXISTING TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SURFACE.
- SOW SEED AT A TOTAL RATE OF 6 lb/1000 sf.
- RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:4 WITH EROSION-CONTROL BLANKETS AND 1:6 WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECT SEEDED AREAS WITH SLOPES NOT EXCEEDING 1:6 BY SPREADING STRAW MULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 2 TONS/ACRE TO FORM A CONTINUOUS BLANKET 1-1/2 INCHES IN LOOSE DEPTH OVER SEEDED AREAS. SPREAD BY HAND, BLOWER, OR OTHER SUITABLE EQUIPMENT.
  - ANCHOR STRAW MULCH BY CRIMPING INTO SOIL WITH SUITABLE MECHANICAL EQUIPMENT.
  - PROTECT SEEDED AREAS FROM HOT DR, DRY WEATHER OR DRYING WINDS BY APPLYING COMPOST MULCH UNIFORMLY TO A DEPTH OF 3/16 INCH, AND ROLL SURFACE SMOOTH.
- SODDING
  - LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF GROUND IS FROZEN OR MUDDY.
  - LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS, BUTT ENDS AND SIDES OF SOD; DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SUBGRADE OR SOD DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE. ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE. WORK SIFTED SOIL OR FINE SAND INTO MINOR CRACKS BETWEEN PIECES OF SOD; REMOVE EXCESS TO AVOID SMOTHERING SOD AND ADJACENT GRASS.
    - LAY SOD ACROSS ANGLE OF SLOPES EXCEEDING 1:3.
    - ANCHOR SOD ON SLOPES EXCEEDING 1:6 WITH WOOD PEGS OR STEEL STAPLES SPACED AS RECOMMENDED BY SOD MANUFACTURER BUT NOT LESS THAN 2 ANCHORS PER SOD STRIP TO PREVENT SLIPPAGE.
  - SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1-1/2 INCHES BELOW SOD.
- ISLANDS TO BE SODDED WITH MICH RINGS AT TREE LOCATIONS PER DETAIL.
- THE 30 FOOT BUFFER PARK LANDSCAPING ALONG E. P. TRUE PARKWAY WILL BE INSTALLED BY THE DEVELOPER AS A PART OF THE JORDAN NEST OVERLAY DISTRICT SITE PLAN.

**TYPICAL PLANTING DETAIL (SINGLE SIDDED TOWNHOMES)**



**TYPICAL PLANTING DETAIL (DOUBLE SIDDED TOWNHOMES)**



**LANDSCAPE REQUIREMENTS**

**OPEN SPACE**  
 REQUIRED: 2 TREE & 3 SHRUBS/3,000 SF  
 300,147 X 30% = 42,444 SF  
 42,444 SF / 1,500 = 61  
 61 TREES  
 42,444 SF / 1,500 = 61  
 61 SHRUBS

**PROPOSED:**  
 61 TREES  
 84 SHRUBS

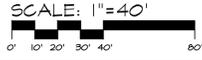
**15' BUFFER**  
 REQUIRED: 2.0 OVERSTORY, 7 EVERGREEN TREES, 2.0 UNDERSTORY & 22 SHRUBS/100 LF  
 1662 LF / 100 = 17  
 48 OVERSTORY  
 119 EVERGREEN TREES  
 48 UNDERSTORY  
 374 SHRUBS

**PROVIDED:**  
 48 OVERSTORY  
 119 EVERGREEN TREES  
 48 UNDERSTORY  
 374 SHRUBS

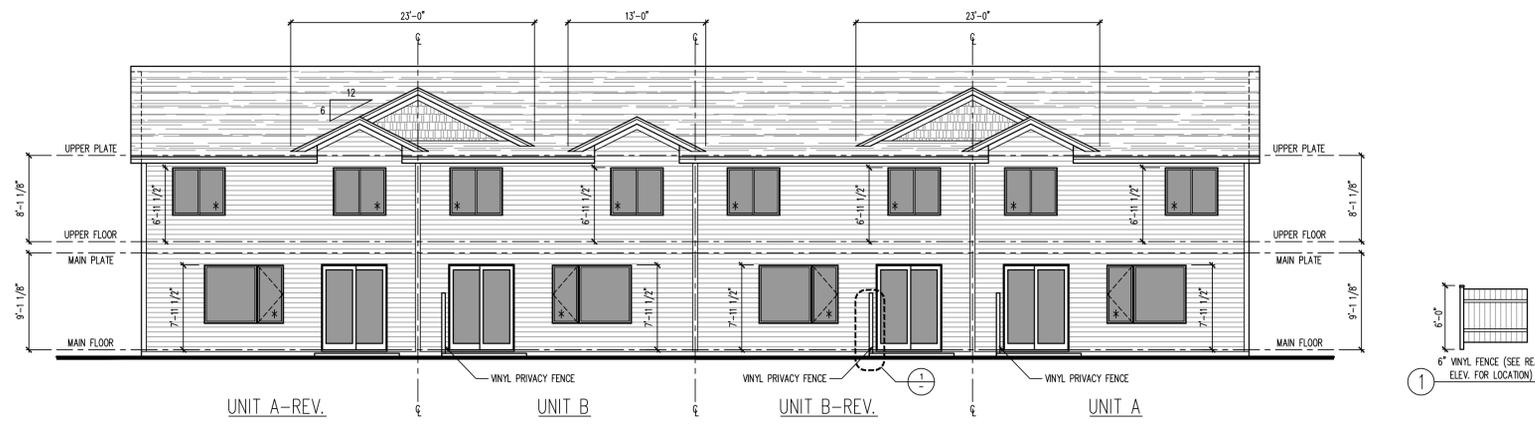


DATE	REVISIONS	COMMENTS
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	3	08/02/2016
	4	08/08/2016
	5	08/25/2016
	6	10-26-2016

DATE OF SURVEY: 08/15/2016  
 DESIGNED BY: MPH  
 DRAWN BY: CM

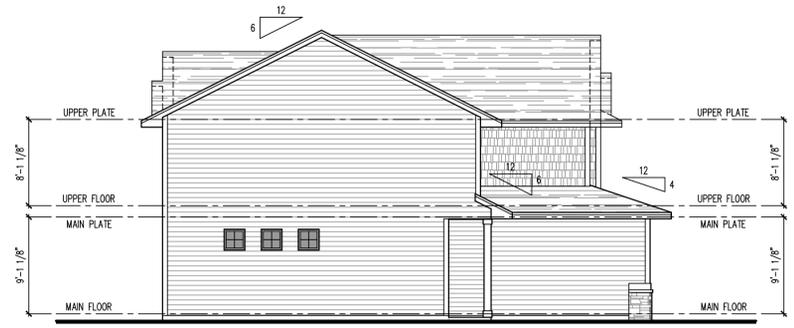


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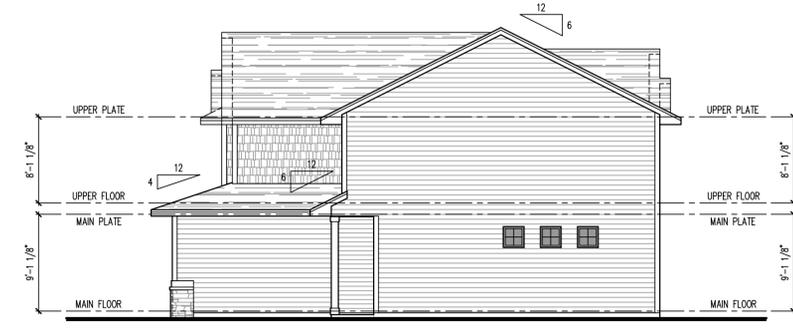
**REAR ELEVATION - 4 PLEX**

SCALE: 1/8"=1'-0"



**LEFT ELEVATION**

SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - 4 PLEX**

SCALE: 1/4"=1'-0"

ALL EXTERIOR FRAME DIMENSIONS INCLUDE 1/2" THICK WALL SHEATHING  
 ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS  
 HOLD ALL DOOR AND WINDOW ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS OR JOIST MANUFACTURER

**TYPICAL NOTES:**

**2009 INTERNATIONAL BUILDING CODE:**

1. TYPICAL CONSTRUCTION ASSEMBLIES
  - A. ROOF CONSTRUCTION:
    - COMPOSITE ROOF SHINGLES ON #30 FELT ON 1/2" OSB ROOF SHEATHING
    - 1/2" FIRE RESISTIVE PLYWOOD ROOF SHEATHING REQUIRED ON ROOF FRAMING MEMBERS AS NOTED ON ROOF PLANS.
    - CEILING:
      - FRAMED 16" O.C. = 1/2" GYPSUM BOARD
      - FRAMED 24" O.C. = 5/8" GYPSUM BOARD OR 1/2" CEILING GYPSUM BOARD
  - B. EXTERIOR WALL CONSTRUCTION:
    - SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP OVER EXTERIOR WALL SHEATHING AS NOTED BELOW.
    - 7/16" OSB ON FRONT ELEVATION, U.N.O.
    - RIGID FOAM SHEATHING ON SIDE AND REAR WALLS
    - 7/16" OSB ON FACE OF ALL GABLES
    - 7/16" OSB ON ALL INSIDE AND OUTSIDE CORNERS
    - INTERIOR: 1/2" GYPSUM WALL BOARD OVER 4 MIL POLY. VAPOR BARRIER
  - C. EXTERIOR MASONRY:
    - STONE VENEER OVER HOUSE WRAP ON 7/16" OSB
    - BRICK VENEER w/ MASONRY TIES 16" O.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 7/16" OSB
  - D. COMMON WALL CONSTRUCTION:
    - 2- HOUR FIRE RESISTIVE ASSEMBLY:
      - 2- PARALLEL 1 HOUR RATED 2X4 WALLS FRAMED 16" O.C. AND SPACED 3" APART (FRAME DIMENSION) WITH 1 LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERSIDE OF ROOF DECK. (SEE DETAIL SHEET D1)
  - E. COMMON GARAGE WALL CONSTRUCTION:
    - 2- HOUR FIRE RESISTIVE ASSEMBLY:
      - 2- PARALLEL 1 HOUR RATED 2X4 WALLS FRAMED 16" O.C. AND SPACED 3" APART (FRAME DIMENSION) WITH 1 LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERSIDE OF ROOF DECK. (SEE DETAIL SHEET D1)
  - F. BASEMENT AND GARAGE FLOOR CONSTRUCTION:
    - 4" CONCRETE SLAB (MINIMUM) ON COMPACTED GRANULAR FILL
  - G. FRAME FLOOR CONSTRUCTION:
    - FINISH FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON ENGINEERED FLOOR TRUSSES OR AS NOTED (SIZE AND SPACING AS NOTED ON FLOOR PLANS)
    - MAIN FLOOR CEILING: 5/8" GYPSUM BOARD OR 1/2" CEILING GYPSUM BOARD
    - FRAMED 24" O.C.: 5/8" GYPSUM BOARD OR 1/2" CEILING GYPSUM BOARD
    - FRAMED 16" O.C.: 1/2" GYPSUM BOARD
2. WINDOWS:
  - ROUGH OPENING OF WINDOWS TO BE NOTED IN FT./IN. ON FLOOR PLANS, U.N.O.
  - TYPICAL HEAD HEIGHTS FOR WINDOWS TO BE 6'-11 1/2". U.N.O.
  - A. CASSEMENT WINDOWS:
    - WINDOW HINGE NOTED ON EXTERIOR ELEVATIONS
  - B. SLIDING WINDOWS:
    - NOTED ON PLANS AS SL
  - C. SINGLE HUNG WINDOWS:
    - NOTED ON PLANS AS SH
  - D. DOUBLE HUNG WINDOWS:
    - NOTED ON PLANS AS DH
3. DOORS:
  - DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. ON FLOOR PLANS, U.N.O.
  - TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
  - A. WOOD JAMBS AND CASING:
    - ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZES NOTED ON PLAN. BI-FOLD DOORS TO BE 2-1/4" WIDER THAN DOOR SIZE NOTED ON PLAN.
    - ROUGH OPENING FOR BI-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLAN.
  - B. GYPSUM BOARD OPENINGS:
    - ROUGH OPENINGS FOR BI-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLAN.
    - ROUGH OPENINGS FOR BI-FOLD DOORS TO BE 1-1/4" WIDER THAN DOOR SIZE NOTED ON PLAN.

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**Orchard View Townhomes**  
 Address - Norwalk, Iowa  
 4 Plex Unit - 3 Bedroom- Slab on Grade

Builder:  
**Happe Homes**  
 [515] 963.0842

Project No.: --  
 Date: --  
 Drawn By: JAM/TK  
 Revisions: 09.19.16

Sheet Title:  
 EXTERIOR ELEVATIONS

Sheet No.:  
 5.1

Client Review Set - Not For Construction - 09.19.16

**CITY OF NORWALK  
REPORT TO THE NORWALK PLANNING COMMISSION**

**REQUEST:** Request from J Larson Homes, LLC to approve the Final Plat of the *Norwalk Orchard View Townhomes*

**MEETING DATE:** November 14, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**APPLICANT(S):** J Larson Homes, LLC                      Civil Engineering Consultants  
10604 NW 75<sup>th</sup> Place                      2400 86<sup>th</sup> Street, Unit 12  
Grimes, Iowa 50111                      Urbandale, Iowa 50322

**GENERAL DESCRIPTION:** This request would create 74 townhome lots and the common owner's association lot on Parcel 3 of the Orchard View PUD.

**IMPACT ON NEIGHBORHOOD:** The surrounding ground is currently undeveloped with the exception of nearby two-family homes along Wright Road to the southeast. The surrounding development is all planned as single family residential as a part of various PUDs.

**VEHICULAR & PEDESTRIAN TRAFFIC:** The plat shows two connections onto Orchard Hills Drive at the intersections of Sycamore Drive and Braeburn Drive. The streets internal to the development are private and were site planned to meet the city's standards for private streets.

**TRAIL PLAN:** The site will have a 5' wide sidewalk installed along Orchard Hills Drive.

**ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:** The site was zoned in the Orchard View Planned Unit Development on October 4, 2012 (Ordinance 12-09). The site is identified as Parcel 3 in the PUD and allows for R-3 uses.

The City approved an amendment to the PUD on August 18, 2016, related to the ownership of the townhome units. That amendment stated that "it is the intent that the parcel will be developed as an owner-occupied community. All units will initially be marketed individually for-sale and shall not be operated as a rental complex. Restrictive covenants shall be submitted to the City for approval at the time of final approval, implementing the intent of this paragraph."

Staff has received the restrictive covenants and is currently working with the City Attorney to determine if the intent of the PUD amendment is met. Staff will provide an update at the meeting.

<b>BUFFERS REQUIRED/ NEEDED:</b>	The proposed development would require a buffer next to any adjacent single-family districts. Single family districts are located on the east, west, and north. The developer has shown a 15' wide buffer easement that is in addition to the required 30' setback.
<b>DRAINAGE:</b>	The development includes a storm sewer system that connects with the City system along Orchard Hills Drive. The western portion of the development drains to the southwest into a detention pond that releases at the south property line.
<b>DEVELOPMENT HISTORY:</b>	The area was planned as a PUD on October 3, 2012. A preliminary plat that included the area as an outlot was approved in January 2014. A preliminary plat and site plan for the project was approved on August 18, 2016.
<b>FLOODPLAIN:</b>	None of the proposed lots are located within a floodplain.
<b>PARKLAND:</b>	Parkland dedication was identified in the PUD as a park in the northern area of the Orchard View development.
<b>UTILITIES: WATER, SANITARY SEWER, STORM SEWER.</b>	<ul style="list-style-type: none"> <li>• An 8" public water main is provided throughout the site with an associated easement.</li> <li>• An 8" public sanitary sewer is provided with the proper easements shown.</li> <li>• Private storm sewer is provided throughout the site. A portion of the storm sewer connects into existing City storm sewer, the remaining sewer drains into a private detention basin in the southwest of the development. Maintenance easement agreements for the detention basin are provided.</li> </ul>
<b>RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:</b>	The future land use plan for the area is identified as High Density Residential. This R-3 development meets the intent of the Comprehensive Plan. In the recent proposed Future Land Use update (which has not been approved) this area is shown as Medium Density Residential. The proposed final plat meets the definition of the proposed Medium Density Residential category.
<b>STAFF ANALYSIS – ZONING ORDINANCE:</b>	<p>The Final Plat consists of 74 townhome lots. The plat consists of 7.08 acres of land northwest of the proposed intersection of Orchard Hills Drive and Wright Road.</p> <p>Streets shown will be private and maintained by the owner's association. The Zoning Ordinance requires that these streets be signed with blue signs and labeled as "Private Streets."</p>

The PUD requires that multi-family structures along the perimeter of the development be no taller than two stories. The proposed development includes two-story units along the perimeter and three-story units on the interior of the site.

**STAFF ANALYSIS –  
SUBDIVISION  
ORDINANCE:**

The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer's certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.

The applicant will need to submit all other required documents prior to release of the final plat for recording.

**STAFF  
RECOMMENDATION:**

Therefore, staff recommends that the request for the Final Plat of Norwalk Orchard View Townhomes be approved with the following conditions:

- That staff verifies that the restrictive covenants provide information implementing the intent of the August 2016 PUD amendment;
- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

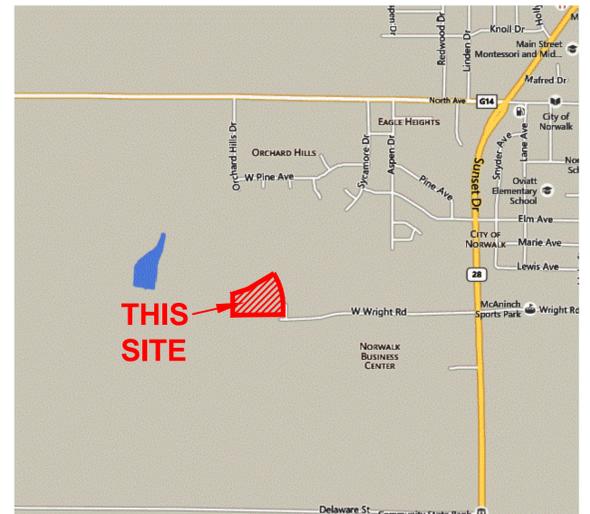
# FINAL PLAT

# NORNALK ORCHARD VIEW TOWNHOMES

## NORNALK, IA

J LARSON HOMES, L.L.C., 10604 NW 75TH PLACE, GRIMES, IA 50111

RECORDER'S  
STAMP



VICINITY SKETCH NORTH  
NOT TO SCALE

**SHEET INDEX**

SHEET NO	SHEET TITLE
1	COVER
2	DIMENSION
3	EASEMENTS

**DEVELOPER:**  
J LARSON HOMES, L.L.C.  
10604 NW 75TH PLACE  
GRIMES, IA 50111  
ATTN: JOHN LARSON  
PH. 515-491-4090

**PROPERTY OWNERS:**  
J LARSON HOMES, L.L.C.  
10604 NW 75TH PLACE  
GRIMES, IA 50111  
ATTN: JOHN LARSON  
PH. 515-491-4090

**ZONING:**  
EXISTING: R-3 MEDIUM DENSITY RESIDENTIAL WITHIN ORCHARD VIEW P.U.D.

**P.U.D.:**  
ORCHARD VIEW P.U.D. - PARCEL 3

**SETBACKS:**  
MINIMUM SETBACK FROM PROPERTY BOUNDARIES - 30'  
MINIMUM BUILDING SEPARATION - 15'  
BUILDING SETBACK FROM PRIVATE STREET - 25'

- NOTES:**
- ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT DOES SO AS A SUBORDINATE INTEREST TO THE CITY'S USE OF ITS DESIGNATED SANITARY SEWER EASEMENT AND ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT MUST RELOCATE AT ITS COST IF IN CONFLICT WITH THE CITY'S USE OF THE DESIGNATED SANITARY SEWER EASEMENT. AREAS ARE PRIVATE.
  - SURFACE WATER FLOWAGE EASEMENTS ARE PRIVATE. STORM WATER DETENTION AREAS ARE PRIVATE.
  - SOME LOTS ACCEPT DRAINAGE FROM ADJACENT PROPERTY. BUILDING ON THESE LOTS MUST TAKE INTO ACCOUNT UPSTREAM DRAINAGE.

**LEGAL DESCRIPTION**  
PARCEL 'A' OF OUTLOT 'X', NORNALK ORCHARD VIEW PLAT 3, AN OFFICIAL PARCEL RECORDED IN BOOK 2016, PAGE 6210 AT THE WARREN COUNTY RECORDER'S OFFICE, CITY OF NORNALK, WARREN COUNTY, IOWA AND CONTAINING 7.08 ACRES MORE OR LESS.

**INDEX LEGEND**

COUNTY:	WARREN
CITY:	NORNALK
SUBDIVISION:	NORNALK ORCHARD VIEW PLAT 3
LOTS:	PARCEL 'A' OF OUTLOT 'X'
PROPRIETOR (S):	J LARSON HOMES L.L.C.
REQUESTED BY:	J LARSON HOMES L.L.C.
RETURN TO:	CIVIL ENGINEERING CONSULTANTS, INC 2400 86TH STREET, URBANDALE, IA 50322

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
 JEFFREY A. GADDIS, IOWA LICENSE NO. 18381      DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016  
 PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS 1-3

**LEGEND**

	FOUND SECTION CORNER
	FOUND CORNER W/ 5/8" I.R. W/YELLOW CAP #7844 UNLESS OTHERWISE NOTED
	SET PROPERTY CORNER W/ 5/8" I.R. W/BLUE CAP #18381 UNLESS OTHERWISE NOTED
	PLAT BOUNDARY
	EXISTING PROPERTY LINES
	PROPOSED LOTS
	EASEMENT LINES
	BUILDING SETBACK LINES (B.S.L.)
	CENTERLINE STREET
D.	DEEDED BEARING & DISTANCE
P.	PREVIOUSLY RECORDED BEARING & DISTANCE
M.	MEASURED BEARING & DISTANCE
I.R.	IRON ROD
I.P.	IRON PIPE
BK. XXX, PG. XXX	COUNTY RECORDER'S INDEXING BOOK
R.O.W.	RIGHT-OF-WAY
P.U.E.	PUBLIC UTILITY EASEMENT
P.O.B.	POINT OF BEGINNING
B.S.L.	BUILDING SETBACK LINE
(234)	ADDRESS

**SCALE: 1"=40'**  
  
**22"x34" SHEET**  
**1"=80' 11"x17" SHEET**

**Civil Engineering Consultants, Inc.**  
 2400 86th Street, Unit 12, Des Moines, Iowa 50322  
 515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com



DATE:	REVISIONS	COMMENTS
10/26/2016	1	11/07/2016
	2	
	3	
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	6	

**NORNALK ORCHARD VIEW TOWNHOMES**  
 NORNALK, IA  
**FINAL PLAT / COVER**

SHEET  
 OF 3

Q:\B-FILES\B-30061442\_CDD Drawings\North-FPC\cover.dwg, 11/7/2016 12:31:14 PM, cecinc.com, LT

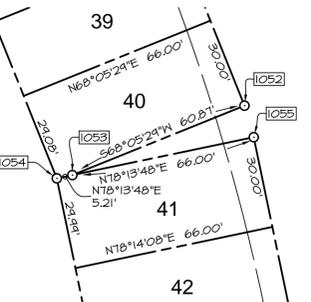
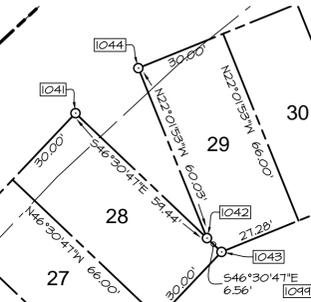
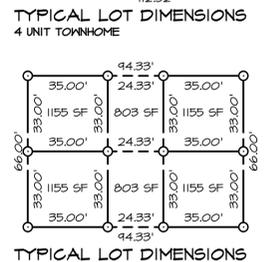
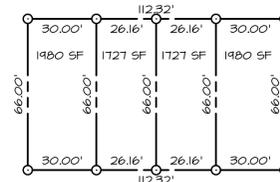
POINT NUMBER	NORTHING	EASTING
1001	2318.2023	2346.5412
1002	2318.8730	2351.1854
1003	2385.1844	1851.8121
1004	2530.1350	1854.6819
1005	2784.9156	1741.6854
1006	2818.1302	1811.3434
1007	2858.2631	1874.1043
1008	2904.2410	1938.1161
1009	2961.2453	1988.0431
1010	3001.4152	2031.4386
1011	3035.2204	2073.6584
1012	3082.3468	2150.3331
1013	2858.1211	2281.1711
1014	2470.8151	2346.8601
1015	2465.0301	2356.0054
1016	2344.0352	2355.1142
1017	2400.4422	2242.8680
1018	2466.4310	2243.6441
1019	2466.5267	2236.5353
1020	2400.5319	2235.1086
1021	2401.4388	2123.3414
1022	2467.9336	2124.2241
1023	2468.0233	2111.0647
1024	2402.0285	2116.2380
1025	2403.4354	2003.4268
1026	2464.4302	2004.1535
1027	2524.9519	1964.1515
1028	2503.8271	1904.1445
1029	2606.9649	1864.6751
1030	2633.1000	1925.2827
1031	2634.6750	1922.4480
1032	2613.5448	1861.8410
1033	2718.6810	1817.3122
1034	2742.8172	1871.4742
1035	2742.6478	1900.4334
1036	2742.4013	1851.5677
1037	2866.2019	1942.2341
1038	2816.4484	1985.6044
1039	2823.0414	1946.2084
1040	2868.5118	1948.3238
1041	2950.0036	2025.6211
1042	2904.0463	2068.1482
1043	2904.5832	2073.5062
1044	2964.1444	2046.2245
1045	3006.8711	2150.3478
1046	2945.6465	2175.1053
1047	2884.9520	2225.0482
1048	2744.2612	2283.8620
1049	2754.1019	2227.6334
1050	2855.3421	2168.8147

POINT NUMBER	NORTHING	EASTING
1051	2784.3283	2288.8664
1052	2680.1200	2330.1166
1053	2651.4067	2274.3000
1054	2656.3443	2264.2010
1055	2664.8071	2333.8122
1056	2554.8487	2356.1238
1057	2546.3857	2242.1115
1058	2543.1231	2232.5077
1059	2524.0084	2168.1641
1060	2620.9671	2147.1365
1061	2635.6825	2211.4751
1062	2652.4175	2208.2820
1063	2626.5121	2147.5521
1064	2713.3127	2110.6130
1065	2734.2174	2171.3423
1066	2753.1013	2163.0313
1067	2718.5419	2106.8027
1068	2748.4040	2057.4073
1069	2833.4684	2113.8358
1070	2735.4740	2018.3207
1071	2644.3538	2055.6684
1072	2623.2236	1945.0613
1073	2704.8488	1957.1136
1074	2640.1484	2054.3567
1075	2554.1736	2046.1044
1076	2528.0435	2036.0473
1077	2614.6687	1948.1447
1078	2452.2263	2271.3410
1079	2435.2342	2243.6853
1080	2408.3380	2171.3534
1081	2847.2223	2057.1423
1082	2784.5885	2008.1475
1083	2742.5333	1944.2634
1084	2645.0037	1924.0851
1085	2514.4561	2004.5552
1086	2447.0037	2038.4742
1087	2444.1171	2264.4055
1088	2508.5354	2322.3484
1089	2537.3807	2427.5425
1090	2537.3672	2424.1678
1091	2445.8752	2124.0625
1092	2723.2314	2068.4464
1093	2804.2238	2017.1666
1094	2444.1833	2264.1243
1095	2507.0635	2264.2856
1096	2563.4804	2254.6513
1097	2441.4224	2256.3632
1098	2740.1743	2176.8476
1099	2840.5246	2115.5388

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	22°14'50"	200.00'	71.66'	34.32'	71.71'	S64°36'04"W
C2	0°42'51"	200.00'	2.50'	1.25'	2.50'	S58°50'13"W
C3	21°31'53"	200.00'	75.16'	38.03'	74.12'	S64°51'38"W
C4	37°46'37"	200.00'	131.87'	68.43'	124.41'	S61°50'16"W
C5	16°50'40"	200.00'	58.80'	24.61'	58.59'	S72°18'15"W
C6	20°55'57"	200.00'	73.07'	36.95'	72.66'	S53°24'56"W
C7	15°47'45"	300.00'	82.71'	41.62'	82.45'	S50°50'50"W
C8	82°04'05"	38.00'	54.43'	33.07'	44.84'	S11°42'40"W

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C9	65°57'34"	38.00'	43.75'	24.66'	41.37'	S56°18'04"E
C10	31°52'35"	100.00'	55.63'	28.56'	54.42'	N74°46'46"E
C11	31°38'05"	200.00'	110.43'	56.66'	104.03'	N74°34'32"E
C12	22°03'36"	200.00'	77.00'	38.48'	76.53'	N64°52'17"E
C13	4°34'24"	200.00'	16.75'	16.75'	33.38'	N85°41'20"E
C14	10°44'38"	300.00'	56.64'	28.43'	56.61'	N04°41'45"W
C15	21°27'58"	600.00'	224.74'	113.73'	223.48'	N20°50'34"W
C16	32°35'24"	420.00'	238.40'	122.78'	235.64'	N15°16'51"W

LINE #	DIRECTION	LENGTH
L1	S42°56'58"W	71.91'
L2	S42°56'58"W	58.74'
L3	S42°56'58"W	13.16'
L4	S23°19'22"E	190.62'
L5	S84°16'56"E	230.45'
L6	S84°16'56"E	40.10'
L7	S84°16'56"E	135.07'
L8	S84°16'56"E	5.28'
L9	N00°43'04"E	12.88'
L10	N10°06'35"W	18.73'
L11	N31°34'33"W	117.04'
L12	N31°34'33"W	95.07'



- LEGEND**
- FOUND SECTION CORNER & NUMBER
  - FOUND CORNER W/ 5/8" I.R. WYELLOW CAP #1844 UNLESS OTHERWISE NOTED & NUMBER
  - SET PROPERTY CORNER W/ 5/8" I.R. WYELLOW CAP #18381 UNLESS OTHERWISE NOTED & NUMBER
  - PLAT BOUNDARY
  - EXISTING PROPERTY LINES
  - PROPOSED LOTS
  - EASEMENT LINES
  - BUILDING SETBACK LINES (B.S.L.)
  - CENTERLINE STREET
  - D. DEEDED BEARING & DISTANCE
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  - R.O.W. RIGHT-OF-WAY
  - P.U.E. PUBLIC UTILITY EASEMENT
  - P.O.B. POINT OF BEGINNING
  - B.S.L. BUILDING SETBACK LINE
  - ADDRESS

**SCALE:** 1"=40'  
0' 10' 20' 30' 40'  
22"x34" SHEET  
1"=80' 11"x17" SHEET

**ONE CALL**  
1-800-292-8989  
www.onecall.com

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515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

**CEC**

**NORWALK ORCHARD VIEW TOWNHOMES**  
NORWALK, IA

**FINAL PLAT / DIMENSION**

**SHEET 2 OF 3**  
E-7442

DATE:	REVISIONS:	COMMENTS:
10/26/2016	1	11/07/2016
	2	
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	5	
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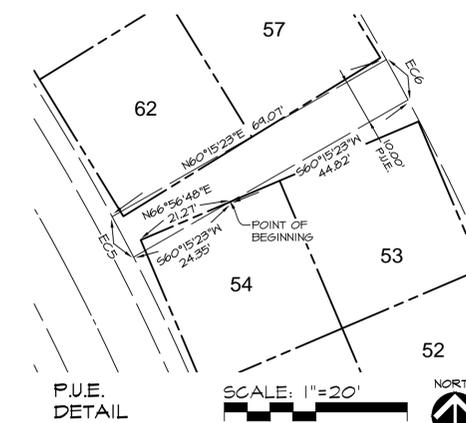
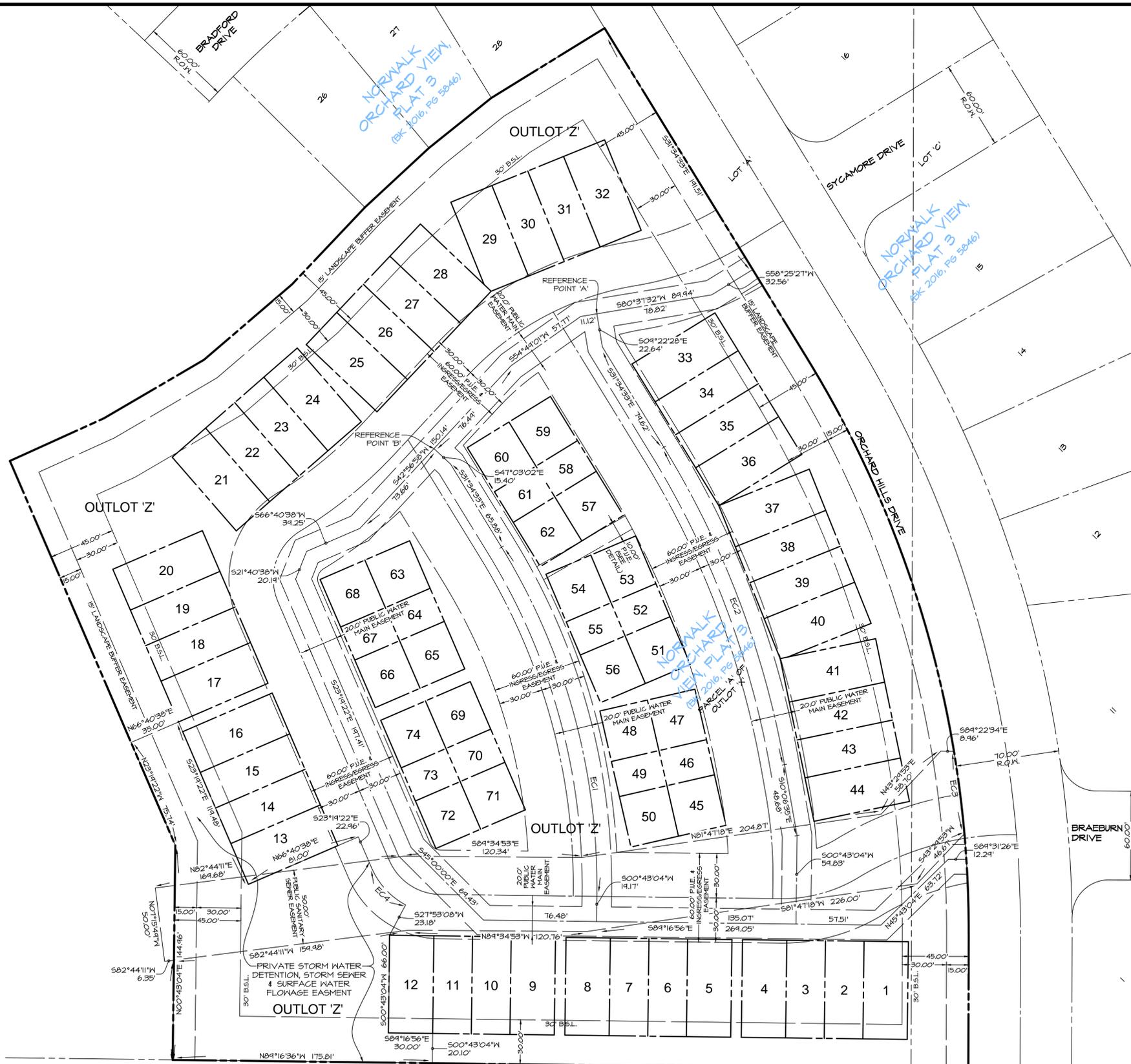
DATE OF SURVEY: 03/15/2016  
DESIGNED BY: PPH  
DRAWN BY: CH

NORWALK ORCHARD VIEW, FLAT 3  
(PK 2016, PG 5846)  
OUTLOT 'X'

NORWALK ORCHARD VIEW, FLAT 3  
(PK 2016, PG 5846)

NORWALK ORCHARD VIEW, FLAT 3  
(PK 2016, PG 5846)

NORWALK ORCHARD VIEW, FLAT 3  
(PK 2016, PG 5846)



EASEMENT CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
EC3	4°21'45"	736.80'	56.10'	28.06'	56.09'	N07°15'16"W
EC5	1°16'26"	450.00'	10.01'	5.00'	10.01'	N27°55'33"W
EC6	1°00'20"	570.00'	10.00'	5.00'	10.00'	S28°28'21"E



SCALE: 1"=40'



DATE:	REVISIONS	COMMENTS
10/26/2016	1	11/07/2016
	2	
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	6	

DATE OF SURVEY: 03/15/2016  
DESIGNED BY: MPH  
DRAWN BY: CM

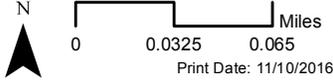
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Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



**Norwalk Orchard View Townhomes - Vicinity Map**



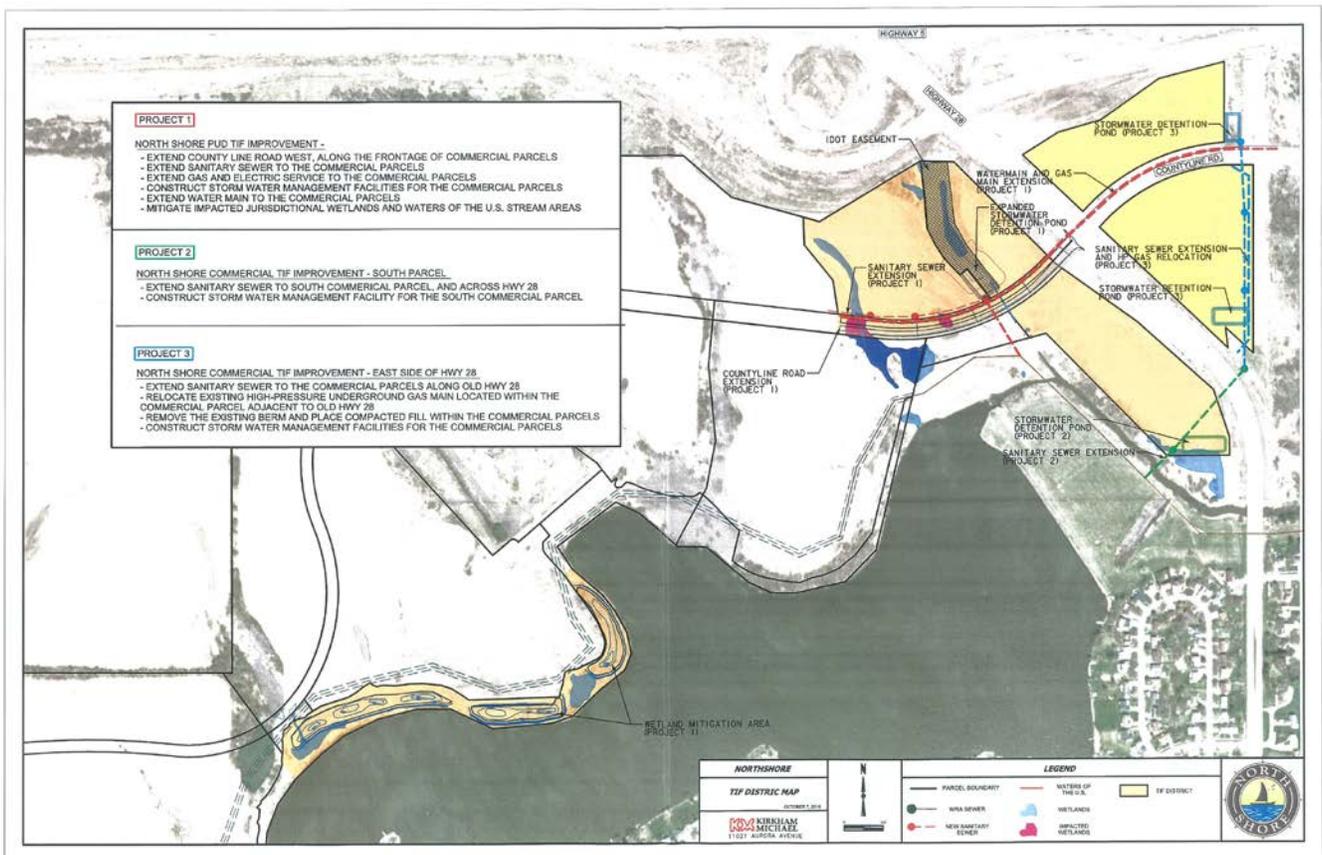
# Norwalk Community Development October 2016 Monthly Report



## Economic Development:

The Economic Development met on October 20, 2016 and discussed the following items:

- Discussed the Developers anticipated spring 2017 start date for Turnberry Drive in the Farms of Holland Development.
- Discussed the Developers anticipated 2018 completion of phase 1 and 2021 completion of phase 2 on the North Shore Development.
- Discussed the Hughes Farm Development and what impact the Norwalk School districts decision to build a school near this development would mean for the project and anticipated start time to extend Chatham and construct E. 18th.



North Shore

## Planning and Zoning Commission

The Planning Commission met on October 10, 2016 and considered the following items:

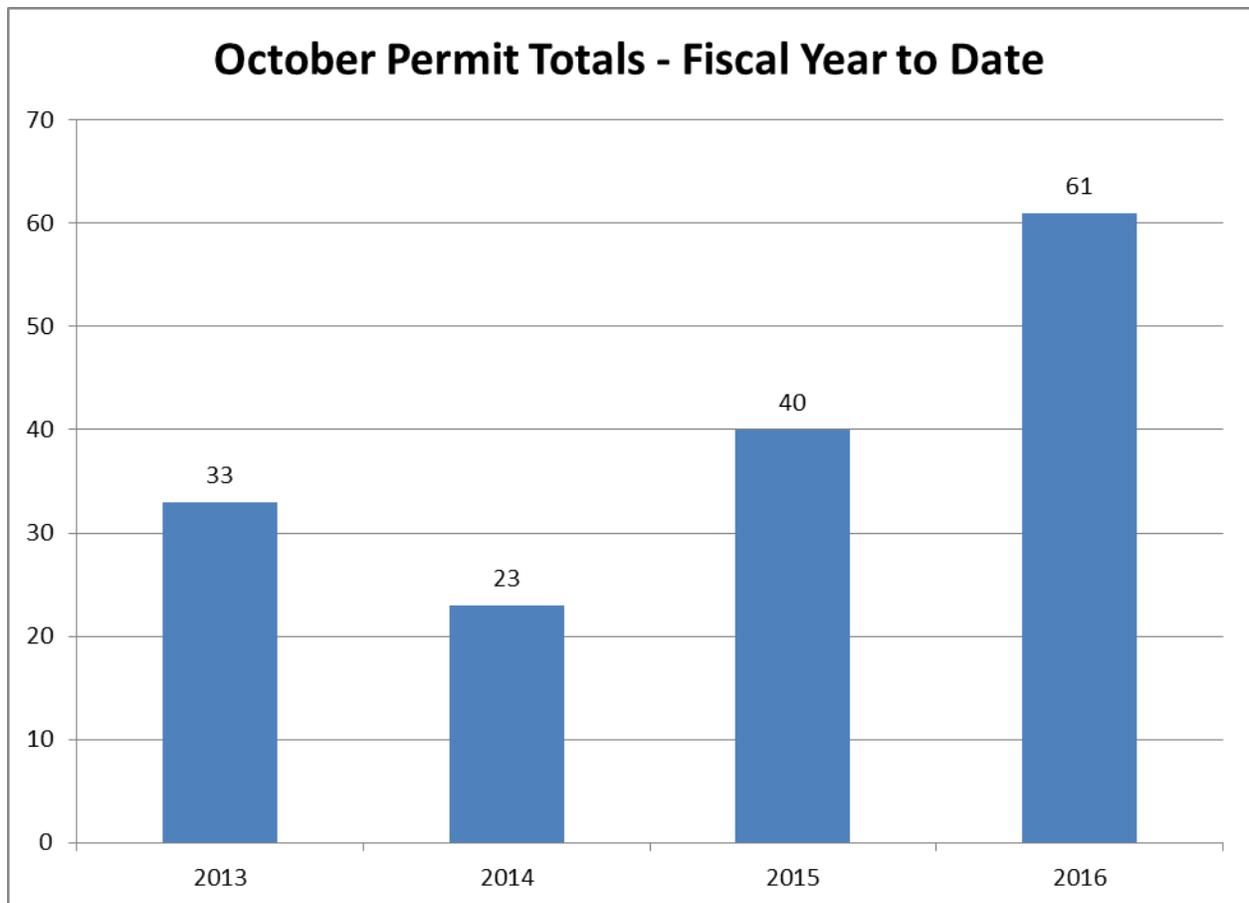
- Request from Diligent Warrior Run, LLC to approve the Preliminary Plat of the Warrior Run Estates Plat 2
- Request from Hubbell Properties to approve the Site Plan for Edencrest at the Legacy
- Discussion on potential amendments to the parkland dedication section of the City's Subdivision Ordinance

They also met on October 24, 2016 and considered the following items:

- Request from Diligent Warrior Run, LLC to approve the Preliminary Plat of the Warrior Run Estates Plat 2
- Request from Hubbell Properties to approve the Site Plan for Edencrest at the Legacy
- Discussion on potential amendments to the parkland dedication section of the City's Subdivision Ordinance
- Discussion and recommendation on amendment to the City's Urban Renewal Plan

## Building Department - Permit Information:

City of Norwalk - October New Construction Building Permits								
BP Issued	Single Family	Value	Townhome	Value	Multi-Family	Value	Commercial	Value
<b>2016</b>								
This month	8	\$ 2,609,708	2	\$ 439,081	0	\$ -	0	\$ -
YTD	124	\$ 33,527,384	13	\$ 2,762,003	0	\$ -	4	\$ 902,721
FYD	61	\$ 17,203,968	6	\$ 1,390,737			1	\$ 319,985
<b>2015</b>								
This month	9	\$ 2,327,947	2	\$ 611,923	0	\$ -	0	\$ -
YTD	96	\$ 28,743,107	38	\$ 8,144,747	0	\$ -	0	\$ -
FYD	40	\$ 10,962,356	13	\$ 2,987,492	0	\$ -	0	\$ -
<b>2014</b>								
This month	5	\$ 2,109,201	2	\$ 340,005	0	\$ -	1	\$ 345,864
YTD	67	\$ 20,726,115	6	\$ 1,573,749	6 (180 units)	\$ 19,285,963	2	\$ 4,418,833
FYD	23	\$ 7,035,303	4	\$ 951,928	4 (120 units)	\$ 12,340,784	1	\$ 345,864
<b>2013</b>								
This month	9	\$ 3,038,730	0	\$ -	0	\$ -	0	\$ -
YTD	73	\$ 19,696,656	21	\$ 5,516,923	0	\$ -	1	\$ 1,471,204
FYD	33	\$ 9,646,697	21	\$ 5,516,923	0	\$ -	0	\$ -



Building Permit Revenue Report			
PERMIT TYPE	MONTHLY TOTAL	OCTOBER REVENUE	FYD REVENUE
Apartment Building	0	\$ -	
Commercial Addition	0	\$ -	
Commercial Building	0	\$ -	\$ 1,713.92
Commercial Remodel	1	\$ -	\$ 4,167.54
Deck	6	\$ 150.00	\$ 511.07
Demolition	0	\$ -	
Driveway	4	\$ 125.00	\$ 450.00
Electrical	10	\$ 505.00	\$ 5,419.75
Fence	3	\$ 75.00	\$ 675.00
Garage	2	\$ 739.87	\$ 1,189.11
Misc	1	\$ 25.00	\$ 150.00
Mechanical	1	\$ 80.00	\$ 2,460.00
Plumbing	6	\$ 345.00	\$ 5,117.00
Porch	1	\$ 69.52	\$ 119.52
Pool	0	\$ -	\$ 65.00
Residential (Single Family)	8	\$ 22,535.95	\$ 157,345.59
Residential Addition	2	\$ 1,964.40	\$ 1,964.40
Residential Remodel	3	\$ 781.97	\$ 1,545.30
Shed	3	\$ 75.00	\$ 75.00
Sidewalk	0	\$ -	\$ 25.00
Sign	0	\$ -	\$ 367.80
Townhome	2	\$ 4,597.40	\$ 14,087.23
	<b>53</b>	<b>\$ 32,069.11</b>	<b>\$ 197,448.23</b>

Building inspections averaged over 12 inspections a day during the 21 working days in October.

**October Storm Water/Nuisance Inspections:**

7 Nuisance Inspections  
23 City Project Weekly Storm Water Inspections  
223 Storm Water Inspections  
253 Total Inspections for Oct

OCTOBER BUILDING INSPECTIONS	
Deck	15
Electrical	29
Final	14
Footing	35
Foundation Drain	1
Foundation Wall	18
Framing	28
Mechanical	24
Plumbing	45
Sheer Wall	12
Sidewalk/Approach	37
Tar/Tile/Gravel	3
<b>TOTAL INSPECTIONS</b>	<b>261</b>

FY 15-16 Budget	BALANCE
\$120,000	\$ 77,448.23