



**AGENDA
PLANNING AND ZONING MEETING
Norwalk City Hall, 705 North Ave
Monday, October 26, 2015
5:45 P.M.**

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes – October 12, 2015
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
 - a. Request from Kruse Development to approve the Preliminary Plat of Timber View
7. Staff Development Update
8. Future Business Items
 - a. City Council Workshop
 - b. SubArea 1 Master Plan RFP
 - c. Legacy Plat 19 Construction Documents
 - d. Rolling Green Plat 5 Final Plat
 - e. Estates on the Ridge Plat 2 Construction Documents
 - f. Old School Plat 2 Final Plat
 - g. Orchard View Plat 3 Construction Documents
 - h. Orchard Hills Villas Plat & Site Plan
 - i. North Shore Planned Unit Development
 - j. Edencrest at Legacy Site Plan
 - k. Comprehensive Plan Amendment for Trail Map
9. Next Meeting Date: November 9, 2015
10. Adjournment

REGULAR NORWALK PLANNING AND ZONING MEETING 10-12-15

Call to order

The Regular Meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, October 12, 2015. The meeting was called to order at 5:45 P.M. by Chairperson Stephanie Riva. Those present at roll call were John Fraser, Judy McConnell, Jim Huse, Dan Schulz, Stephanie Riva. Absent: Chad Ross and Robin Wagner.

Staff present included: Luke Parris, City Planner; Wade Wagoner, Planning and Economic Development Director; Shelley Stravers, Development Services Assistant.

Approval of Agenda – 15-73

Motion by Huse and seconded by McConnell to approve the agenda as presented. Approved 5-0.

Approval of Minutes – 15-74

Motion by Schulz and seconded by Fraser to approve the minutes from the September 28, 2015 meeting. Approved 5-0.

Welcome of Guests

Chairperson Riva welcomed guests present. With no guests wishing to speak, the business portion of the meeting was opened.

New Business

Request from Cort Landing LLC to approve the Preliminary Plat of the Cort Landing Plat 1– 15-75

Mr. Parris explained that this plat is currently zoned in the Dobson PUD which was amended in June to allow for R-1(60) and C-2 Commercial. This request would create 31 single family lots and 1 commercial lot, located west of Sunset Drive, north of Wright Road, and south of Elm Ave. The property at Lot 1 of Orchard Ridge Plat 1 has notified the City of past problems with the drainage in the rear of their lot. This plat will develop an extension of Pine Ave. and place a storm sewer intake and pipe that will convey storm water from the area behind Lot 1 of Orchard Ridge Plat 1 under Pine Ave. onto Lot 32 of Cort Landing. This should help with the drainage and alleviate some past drainage problems.

The plat shows a connection north to Elm Ave. and a connection east to Sunset Dr./Iowa Highway 28. The developer will need to work with the Iowa DOT on the access permitting to Iowa Highway 28. City staff had previously talked with the Iowa DOT and been told that the access location was appropriate for a full access.

The area to the west is identified as R-4 and will require a buffer, which would have a standard 50' wide buffer. The land to the north/west identified as R-3 will require a standard 30' wide buffer. Both areas are undeveloped and will be required to provide the buffer on their site at development stage.

The plat shows a C-2 lot that is currently undeveloped and adjacent to R-1 uses. Per the PUD, any part of the commercial parcel that is adjacent to a single family lot shall have a 30' wide buffer that meets city code. The new buffer ordinance does allow for a buffer to be reduced, following the buffer standards, when the boundary of a zoning district is along a public street right-of-way.

A Storm Water Management Plan was submitted and reviewed by the City Engineer. Storm water for the single family development is collected in the storm sewer system and managed in a single detention area located behind lots 13, 14, 22 and 23. The detention area discharges to an existing drainage way located inside a drainage easement through the southern area of the plat.

Lot 32, the commercial lot, is located within a separate drainage basin. The drainage from the west is collected in an intake, passed under Pine Ave. in a pipe and outlet onto Lot 32. A detention system has not been designed for Lot 32 at this time. Detention design will depend upon the type of development and will occur during the site plan phase. Lot 32 is allowed to naturally drain in its undeveloped state and is allowed to pass through any improved storm water this is drained onto the lot.

The development is required to provide 0.56 acres of parkland, or the equivalent per Subdivision Regulations, to the City. No park is shown on site. Parkland dedication requirements will be finalized during final platting.

The required front setback for single family lots is 30' with a minimum lot width of 60'. The sideyard setbacks are 7' minimum with 15' total for both sideyards. The required setback for the commercial lot is 30' per the PUD. The sideyard setbacks are 20' minimum. The Dobson PUD specifically prohibits certain uses on the commercial lot.

Riva expressed concern that there will not be access to Highway 28 since the original concept was shown that way at the time of rezoning. Parris explained it is not required in the PUD, Zoning Ordinance or Subdivision Regulations.

Motion by Huse and seconded by Schulz to approve Preliminary Plat of the Cort Landing Plat 1 with the following conditions:

- That applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

Approved 4-1, Riva voting nay.

Request from United Properties Invest Co LLC to approve the Final Plat of The Village on the Ridge – 15-76

Mr. Parris presented a request that would create 34 lots that are zoned in the Echo Valley Community PUD and developed as a Cluster Home Development. The lots are to be sold and developed as single family units with maintenance of lots conducted by an owner's association.

There are three drainage basins on the site. Storm water is detained in three separate detention areas. The detention areas are located on Outlot Z, behind Lots 20-24, and behind Lots 16-17. The Outlot Z discharges via a connection to the City storm sewer. The area behind lots 20-24 discharges to storm sewer on the golf course to the west. The area behind Lots 17-18 connects to the City storm sewer system.

The parkland dedication requirement was considered the golf course per a previous agreement and payment to the City during the development of prior phases in the Echo Valley Community PUD.

The development includes varying setbacks between 20' and 25' to allow for the road; the reduction of typical road right-of-way from 60' to 50'; and the construction of a 26' public road. On-street public parking is allowed to count for overflow parking. Minimum distance between buildings is 10'.

Schulz asked if there was a cart path planned along Beardsley. Parris answered that there are 5' sidewalks planned within the subdivision and an 8' trail along Echo Ridge Trail. The City plans to connect the trail to a trail along Beardsley Street. Schulz feels it is important to have a cart path along Beardsley or golfers will be driving carts on the street.

Motion by Huse and seconded by McConnell to approve the Final Plat of The Village on the Ridge with the following conditions:

- That applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.
- That the Planning and Economic Development Director or his designee be authorized to sign off on the plat for recording once Public Works has indicated the infrastructure is acceptable. In an effort to be developer friendly, the formal (council action) acceptance of the infrastructure and the approval of the final plat needn't occur at the same council meeting.

Approved 4-1, Schulz voting nay.

Staff Development Update

Parris reviewed the Development Services September report with Commission.

Wagoner updated Commission on Elizabeth Holland Park and a Preliminary Development Agreement that Mr. Coppola requested in order to transact on the Elizabeth Holland Park. They are currently working on that agreement.

Also, an outside firm is being considered as a construction manager for the Elizabeth Holland Park. Stakeholders are really in favor of hiring a certain firm and since our Public Works department is short staffed right now the City is looking into this option.

Norwalk Orchard View Plat 2 is going to City Council on Thursday night along with Silverado Plat 2 Preliminary Plat.

The City has identified that we want to do a subdivision ordinance update next, but staff is still in the process of deciding if that is a project that we will do in-house or hire a consultant.

There is currently talk about conducting a DOT study and staff has asked Tim Hoskins to come in and lead that discussion for that group. Once that is complete, that information would be presented to the Commission.

The DOT is currently interested in conducting a study on the Highway 28 corridor, looking for ways to make it flow more efficiently. This study would be the entire length of Highway 28 through Norwalk.

Coppola would like a study to be done for the realignment of Masteller. They need signals in and out in order to get businesses into the development.

Future Business Items

Parris updated Commission on the future business items. Staff is working on getting the City Council Workshop with the P & Z set up in November sometime. The deadline for the RFP's for the Comp Plan update is approaching quickly, so we will be getting back into the swing with the SubArea 1 Master Plan. Legacy Plat 19, Rolling Green Plat 5, Estates on The Ridge Plat 2, and Orchard View Plat 3 construction documents will all be coming to Commission soon. Brad Cooper has decided to possibly hold off a bit for Old School Plat 2 Final Plat. Staff is currently waiting on updates from John Micka on the Comp Plan Amendment for Trail Map. They will touch base with him.

Adjournment – 15-77

Motion by Fraser and seconded by McConnell to adjourn the meeting at 6:26 P.M.
Approved 5-0.

Stephanie Riva, Chairperson

Luke Parris, City Planner

**CITY OF NORWALK
REPORT TO THE NORWALK PLANNING COMMISSION**

REQUEST:	Request from Kruse Development and Lemar Koethe to approve the Preliminary Plat of the Timber View
MEETING DATE:	October 26, 2015
STAFF CONTACT:	Luke Parris, AICP City Planner
APPLICANT(S):	Kruse Development 2209 Riverwoods Avenue Des Moines, IA 50320 Lemar Koethe 6000 Douglas Avenue, Suite 210 Urbandale, IA 50322
GENERAL DESCRIPTION:	This request would create 145 single family lots that are zoned in either R-1(70) or R-1(80), a 3.2 acre city park, two outlots for storm water ponds, and outlots for future development.
IMPACT ON NEIGHBORHOOD:	The request would develop a previous agricultural area with some large lot residential nearby.
VEHICULAR & PEDESTRIAN TRAFFIC:	The request would not appear to have a negative impact on traffic conditions. This development provides one access to North Avenue and one access to the Blooming Heights subdivision in the northeast.
TRAIL PLAN:	There are sidewalks within the subdivision and a proposed trail along North Avenue (G14). The trail along North Avenue would not be constructed when the homes were built. The City would use a petition and waiver that would allow the City to build the trail at a future date and assess the adjacent property owners. The City would pay for 3' of the proposed 8' trail.
ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:	The site was recently rezoned from A-R Agricultural Reserve to R-1(80) and R-1(70). Surrounding ground is primarily still A-R, with an R-1(100) subdivision to the east and a RE-1 subdivision to the southwest.
BUFFERS REQUIRED/ NEEDED:	The Subdivision Regulations require a buffer along double frontage roads. An appropriate buffer is shown.

DRAINAGE:	There are two drainage ponds, one on outlot X and one on outlot Z. The ponds will collect the storm water from the development and release it at an appropriate rate to flow overland to the north.
DEVELOPMENT HISTORY:	The area was recently rezoned from A-R to R-1(70) & R-1(80). The area is identified as High Density Residential and Low Density Residential in the Norwalk Comprehensive Plan. A WRA sewer trunk line was developed to the north that provides sewer access to the site.
FLOODPLAIN:	None of the proposed lots are located within a floodplain.
PARKLAND:	The developer is required to provide 2.6 acres of parkland space and 3.2 acres of parkland has been provided.
UTILITIES: WATER, SANITARY SEWER, STORM SEWER.	<ul style="list-style-type: none"> ● The final plat shows a 30' front setbacks on lots 1-14, 23, and lots 1-31 and 46-145. ● The final plat shows a 35' front setbacks on lots 32-45. ● There are 10' PUE's at the front of all lots. ● There is a 15' sanitary sewer easement at the front of lots 19-31 and on the east of lot 32. ● There is a 30' sanitary sewer between lots 41-42, 80-81, 118-119, and 130-131. ● There is a 20' sanitary sewer easement at the front of lots 38-39 and 60-77. ● There is a 15' sanitary sewer easement at the front of lots 1-14, 20-36, and 134-145. ● There is a 20' storm sewer easement between lots 22-23, 35-36, 65-66, 74-75, 79-80, 91-92, 96-97, 107-108, 131-132, and, 138-139. ● There is a 30' storm sewer easement between lots 41-42, and, 118-119. ● There is a 20' overland flowage easement between lots 22-23, 65-66, 79-80, 96-97, 107-108, 131-132, and, 138-139. ● There is a 20' overland flowage easement along the rear of lots 41-44, 48-53, 71-77, 55-69, 100-103, and 139-145. ● There is a water main easement between lots 43-44 and 78-79.
RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:	The Future Land Use Map designates the area in question as High Density Residential and Low Density Residential. The Comprehensive Plan identifies single-family homes as a typical use in both categories. This request would be in compliance with such designation.

**STAFF ANALYSIS –
ZONING ORDINANCE:**

The Preliminary Plat consists of 145 lots, containing approximately 117.6 acres of land, north of North Avenue on the west edge of town.

The area is being developed according to the recently approved rezoning. Setbacks for the R-1(70) lots are 30' front, 35' rear, 17' combined side with a minimum of 7' on one side. Setbacks for the R-1(80) lots are 35' front, 35' rear, 20' combined side with a minimum of 8' on one side.

**STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:**

The proposed plat has been designed in accordance with the City's Subdivision Ordinance. Lot design, street and right of way design, water service design, sanitary sewer service design, storm sewer service design and easement design all conform with City requirements.

**STAFF
RECOMMENDATION:**

Therefore, staff recommends that the request for the Preliminary Plat of Timber View be approved for the following conditions:

- That the applicant follows all rules and regulations set forth in the City of Norwalk Zoning and Subdivision ordinances.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

PRELIMINARY PLAT TIMBER VIEW

SHEET 1 OF 7

OWNER
LEMAR KOETHE (LOTS 13-62 & OUTLOT T,U,V,W, AND Y)
6000 DOUGLAS AVENUE, SUITE 210
URBANDALE, IA 50322

OWNER/APPLICANT
KRUSE DEVELOPMENT (LOTS 1-12,63-145 & OUTLOTS W&Z)
2209 RIVERWOODS AVENUE
DES MOINES, IA 50320

ZONING
R-1(70) SINGLE FAMILY RESIDENTIAL
R-1(80) SINGLE FAMILY RESIDENTIAL

BULK REGULATIONS

R-1(70) LOTS 1-30, 47-78, 81-145, PART OF OUTLOT 'Y'
MIN. LOT AREA-8,750 S.F.
MIN. LOT WIDTH-70'
SETBACKS
FRONT-30'
REAR-35'
SIDE-7' MIN. (17' TOTAL)

R-1(80) LOTS 31-46,79-80, OUTLOT 'X', PART OF OUTLOT 'Y'
MIN. LOT AREA-10,000 S.F.
MIN. LOT WIDTH-80'
SETBACKS
FRONT-35'
REAR-35'
SIDE-8' MIN. (20' TOTAL)

LEGAL DESCRIPTION

A part of the Southwest quarter of Section 10, Township 77 North, Range 25 West of the 5th P.M., city of Norwalk, Warren County, Iowa, that is more particularly described as follows:

Commencing at the West quarter corner of Section 10, Township 77 North, Range 25 West of the 5th P.M., city of Norwalk, Warren County, Iowa; thence S89°44'36"E, 689.75 feet along the North line of the Southwest quarter of said Section 10 to the Point of Beginning; thence S89°44'36"E, 1934.91 feet along said North line to the center of said Section 10; thence S00°06'24"E, 2655.10 feet along the East line of said Southwest quarter of Section 10 to the South quarter corner of said Section 10; thence N89°36'33"W, 1929.40 feet along the South line of said Southwest quarter of Section 10 to the Southeast corner of Lot 7, Orchard View Plat No. 1, an official plat, city of Norwalk, Warren County, Iowa; thence N00°13'35"W, 2650.61 feet along the East line of said Orchard View Plat No. 1 to the Point of Beginning.

Said tract of land contains 117.666 acres more or less.

Said tract of land being subject to any and all easements of record.

LEGEND

EXISTING/PROPOSED	
	PLAT BOUNDARY
	STORM SEWER # SIZE
	SANITARY SEWER # SIZE
	WATER MAIN # SIZE
	MANHOLE
	STORM INTAKE
	FIRE HYDRANT
	VALVE
	F.E.S.
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SILT FENCE OR APPROVED FILTRATION SOCK

CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. COOPER
12980
IOWA

BRADLEY R. COOPER, IOWA LICENSE NO. 12980
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2015
PAGES OR SHEETS COVERED BY THIS SEAL:
Sheets 1-7

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS
475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

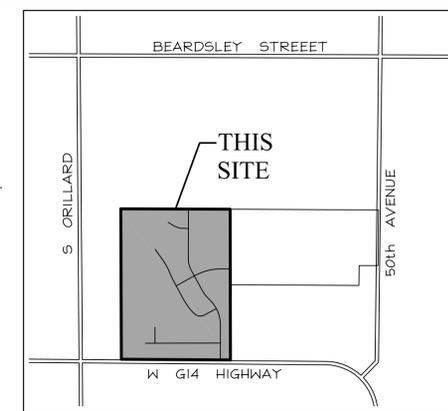
DATE: 9-30-2015
REVISIONS: 10-19-2015

APPROVED: INITIALS: AS-BUILT: ---

**OVERALL PLAN
TIMBER VIEW**

**CC
1720**

**SHEET
1 OF 7**



VICINITY SKETCH



NOTES

- THIS PLAT IS IN A WATER AND SANITARY SEWER CONNECTION FEE DISTRICT.
- PUBLIC UTILITY EASEMENTS ARE SUBORDINATE TO THE CITY'S USE OF ITS DESIGNATED EASEMENT IN AREAS WHERE THEY OVERLAP.
- A HOMEOWNER ASSOCIATION WILL BE CREATED TO MAINTAIN OUTLOT 'Z' (POND) AND THE ENTRANCE FEATURE.
- THIS PLAT IS TO BE DESIGNED AND WILL BE CONSTRUCTED IN ACCORDANCE WITH SUDAS STANDARDS.
- NO STRUCTURES SHALL BE BUILT IN ANY EASEMENTS.
- PROPERTY OWNERS ARE RESPONSIBLE TO ACCOMMODATE RUNOFF FROM ADJOINING LOTS.
- A PETITION AND WAIVER SYSTEM WILL BE USED FOR THE INSTALLATION OF THE 8 FOOT TRAIL AT A FUTURE DATE.

LANDSCAPING

50' LANDSCAPE BUFFER REQUIREMENTS:

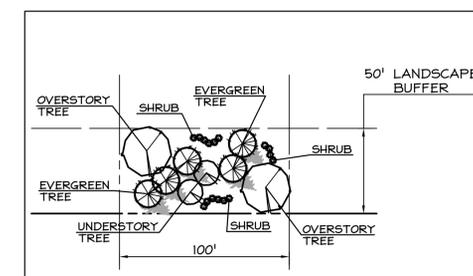
- 2 OVERSTORY TREES, 2 UNDERSTORY TREES, 5 EVERGREEN TREES AND 16 SHRUBS PER 100 LF. x 0.60

LANDSCAPING PROVIDED:

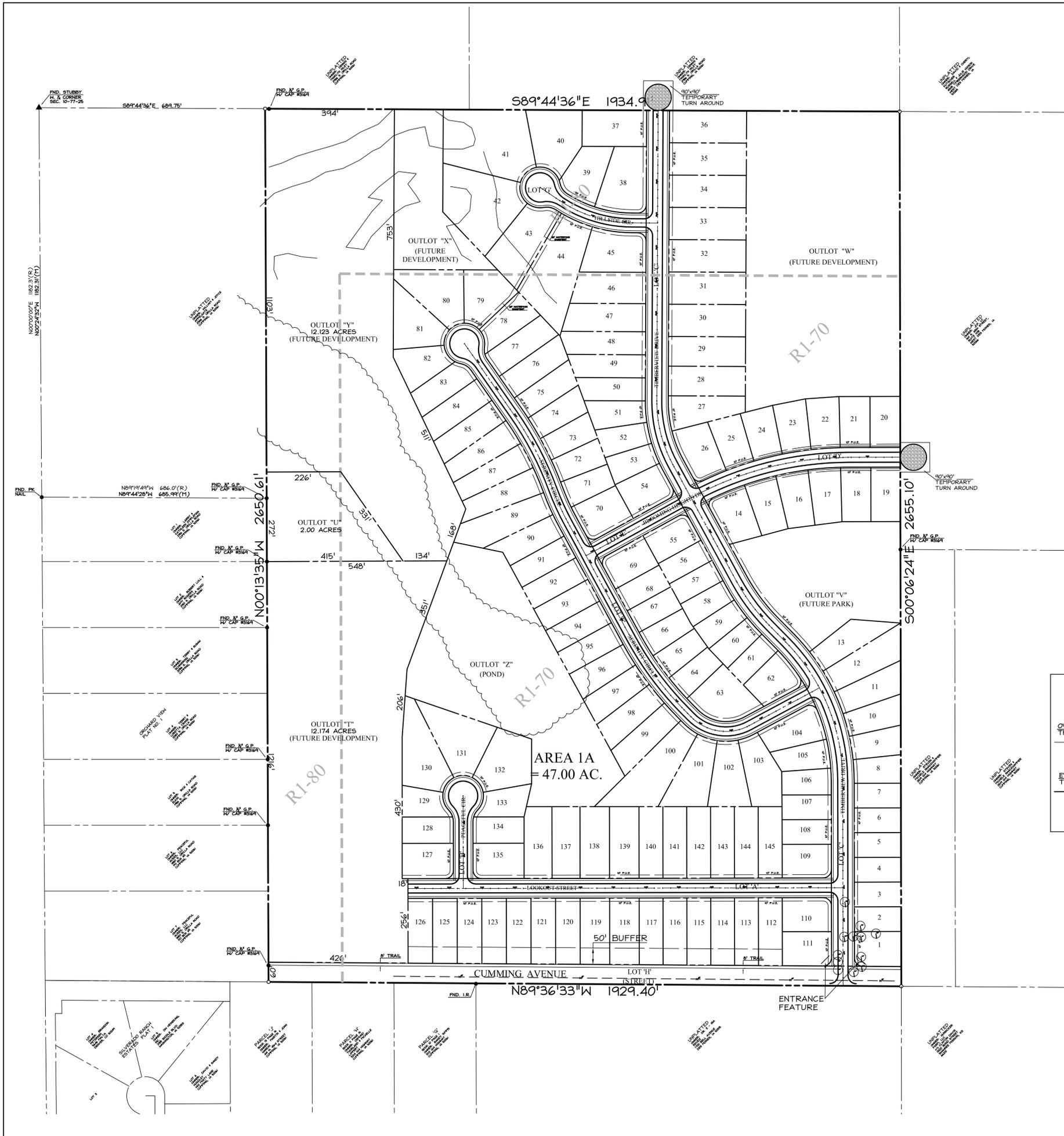
- 14 OVERSTORY TREES
14 UNDERSTORY TREES
34 EVERGREEN TREES
110 SHRUBS

SHEET INDEX

- 1 OVERALL PLAN
2-3 DIMENSION PLAN
4-5 GRADING PLAN
6-7 UTILITY PLAN

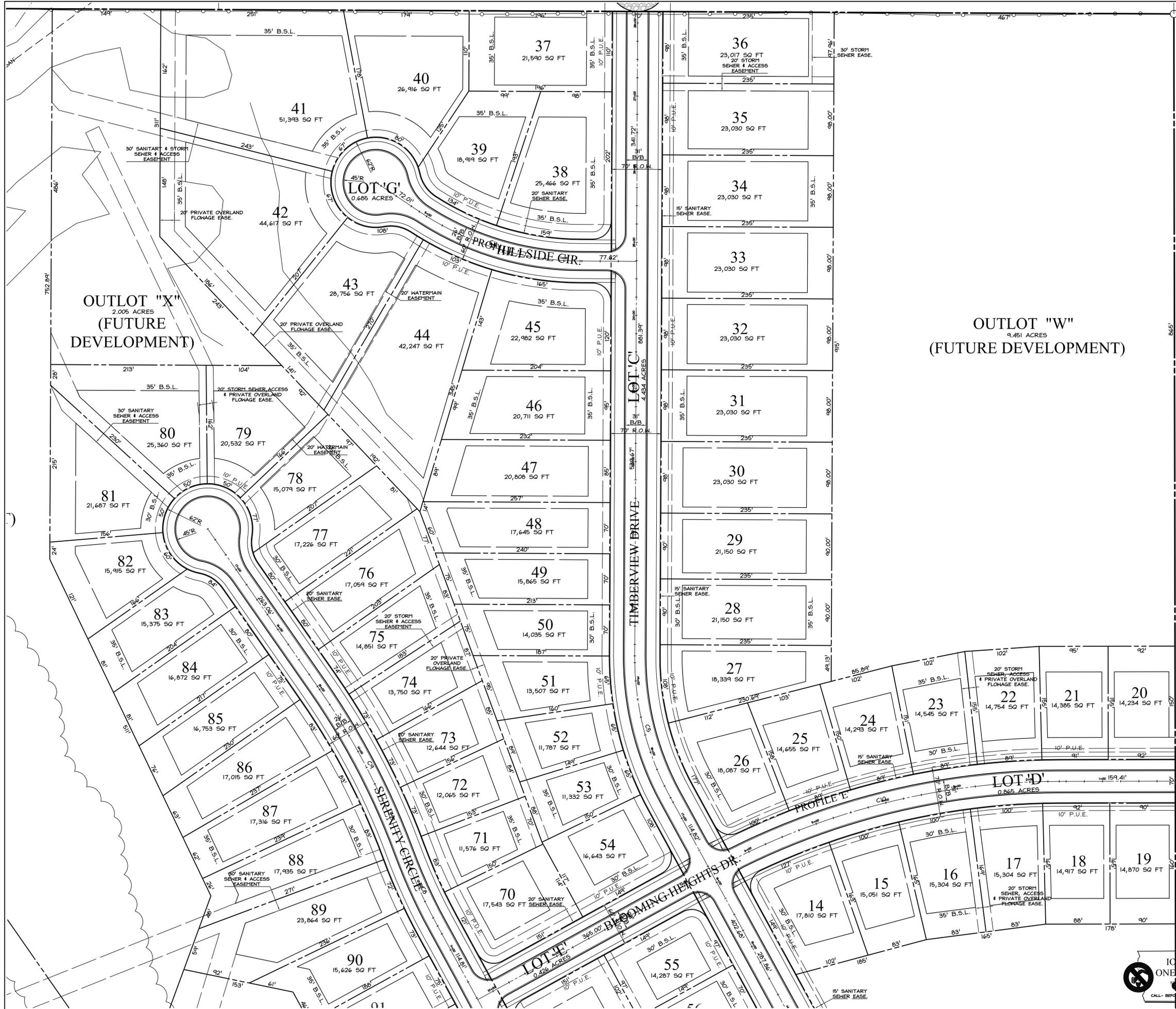


TYPICAL BUFFER PLANTINGS



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PRELIMINARY PLAT TIMBER VIEW SHEET 2 OF 7



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C1	28°02'14"	600.00	293.61	149.80	290.68	N14°07'31"W
C2	16°35'50"	600.00	173.81	87.52	173.20	N36°26'33"W
C3	44°38'04"	600.00	467.41	246.29	455.68	N22°25'26"W
C4	16°00'55"	600.00	167.71	84.41	167.17	S36°44'01"E
C5	28°59'16"	400.00	202.37	103.40	200.22	S14°13'55"E
C6	73°24'10"	150.00	142.17	111.81	174.29	S61°26'33"E
C7	16°00'55"	965.00	269.74	135.75	268.86	S36°44'01"E
C8	8°23'08"	765.00	111.95	56.07	111.85	S24°32'01"E
C9	14°39'31"	1000.00	255.84	128.62	255.15	N27°40'14"W
C10	28°37'13"	1000.00	499.52	255.09	494.34	S75°35'03"W
C11	33°32'32"	400.00	234.17	120.55	230.84	S72°58'02"E

- LEGEND**
- EXISTING/PROPOSED
- PLAT BOUNDARY
 - ST— STORM SEWER # SIZE
 - SAN— SANITARY SEWER # SIZE
 - W— WATER MAIN # SIZE
 - MANHOLE
 - STORM INTAKE
 - ⊕ FIRE HYDRANT
 - ⊕ VALVE
 - △ F.E.S.
 - - - EXISTING CONTOURS
 - - - PROPOSED CONTOURS
 - * * * SILT FENCE OR APPROVED FILTRATION SOCK

COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 9-30-2015
REVISIONS: 10-19-2015

JOB NUMBER
CC 1720

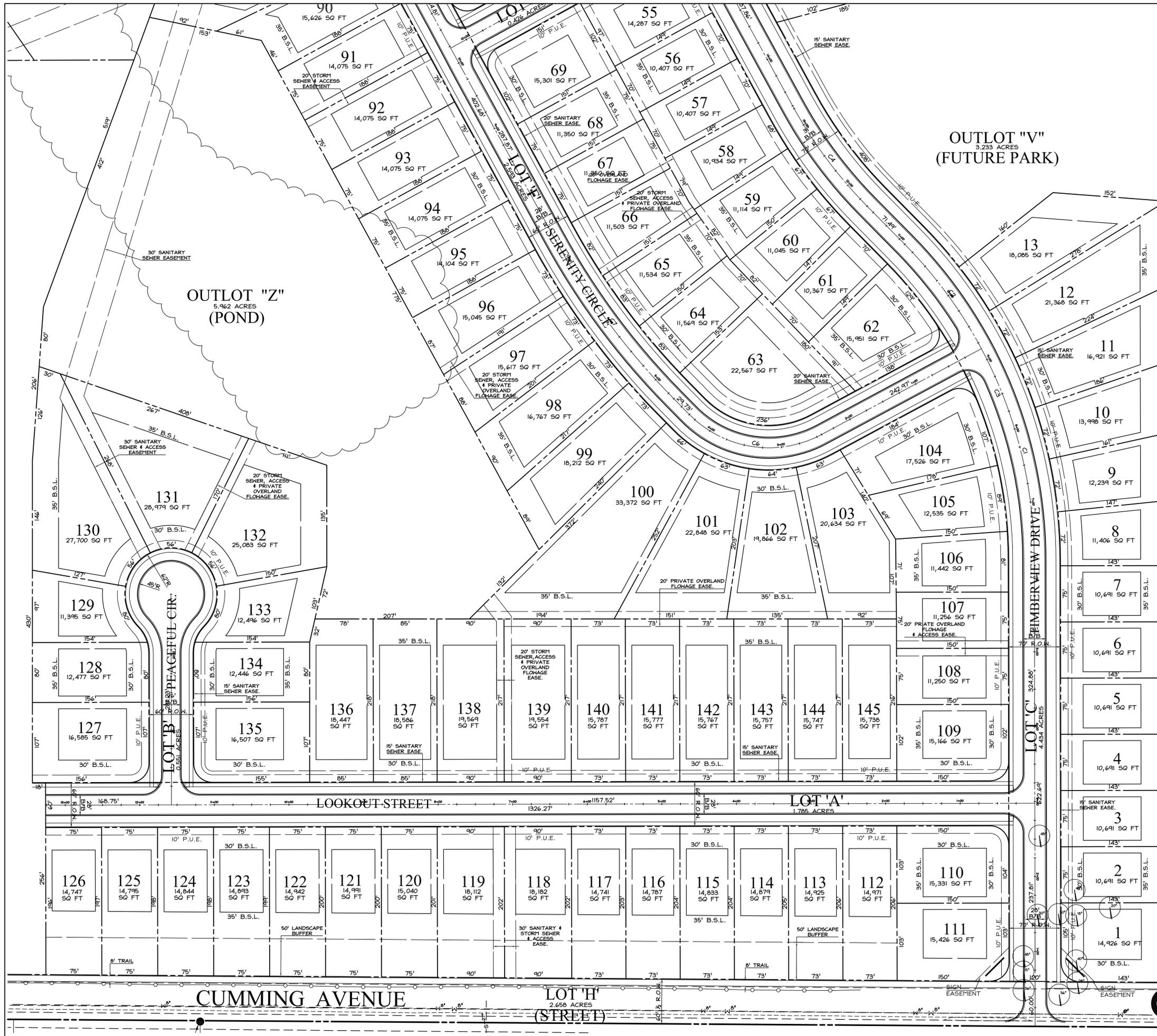
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**DIMENSION PLAN
TIMBER VIEW**

SHEET 2 OF 7



PRELIMINARY PLAT TIMBER VIEW SHEET 3 OF 7



OUTLOT "V"
3.233 ACRES
(FUTURE PARK)

OUTLOT "Z"
5.962 ACRES
(POND)

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	28°02'14"	600.00	293.61	149.80	290.68	N14°07'31"W
C2	16°35'50"	600.00	173.81	87.52	173.20	N36°26'33"W
C3	44°38'04"	600.00	467.41	246.29	455.68	N22°25'26"W
C4	16°00'55"	600.00	167.71	84.41	167.17	S36°44'01"E
C5	28°59'16"	400.00	202.37	103.40	200.22	S14°13'55"E
C6	75°24'10"	150.00	192.17	111.81	174.29	S61°26'33"E
C7	16°00'55"	965.00	269.74	135.75	268.86	S34°44'01"E
C8	8°23'05"	765.00	111.95	56.07	111.85	S24°32'01"E
C9	14°39'31"	1000.00	255.84	128.62	255.15	N27°40'14"W
C10	28°37'13"	1000.00	499.52	255.09	494.34	S75°35'03"W
C11	33°32'32"	400.00	234.17	120.55	230.84	S72°58'02"E

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - ST — STORM SEWER # SIZE
 - SAN — SANITARY SEWER # SIZE
 - W — WATER MAIN # SIZE
 - MANHOLE
 - STORM INTAKE
 - ⊕ FIRE HYDRANT
 - ⊕ VALVE
 - △ F.E.S.
 - - - EXISTING CONTOURS
 - - - PROPOSED CONTOURS
 - ✕ SILT FENCE OR APPROVED FILTRATION SOCK

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475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
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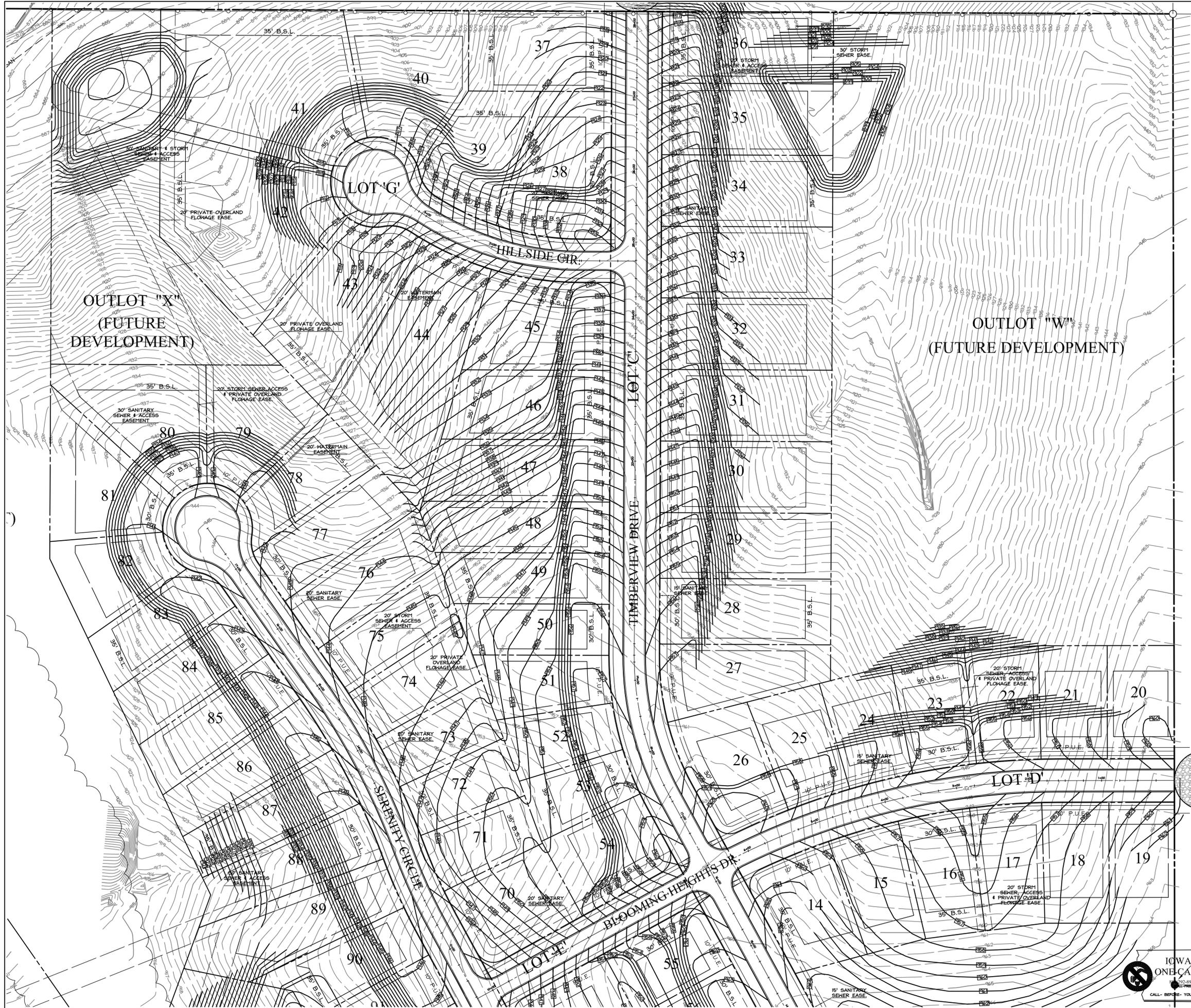
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**DIMENSION PLAN
TIMBER VIEW**

SHEET
3 OF 7

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PRELIMINARY PLAT
TIMBER VIEW
 SHEET 4 OF 7



LEGEND

EXISTING/PROPOSED	
	PLAT BOUNDARY
	STORM SEWER # SIZE
	SANITARY SEWER # SIZE
	WATER MAIN # SIZE
	MANHOLE
	STORM INTAKE
	FIRE HYDRANT
	VALVE
	F.E.S.
	EXISTING CONTOURS
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475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
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APPROVED: --- INITIALED: --- AS-BUILT: ---

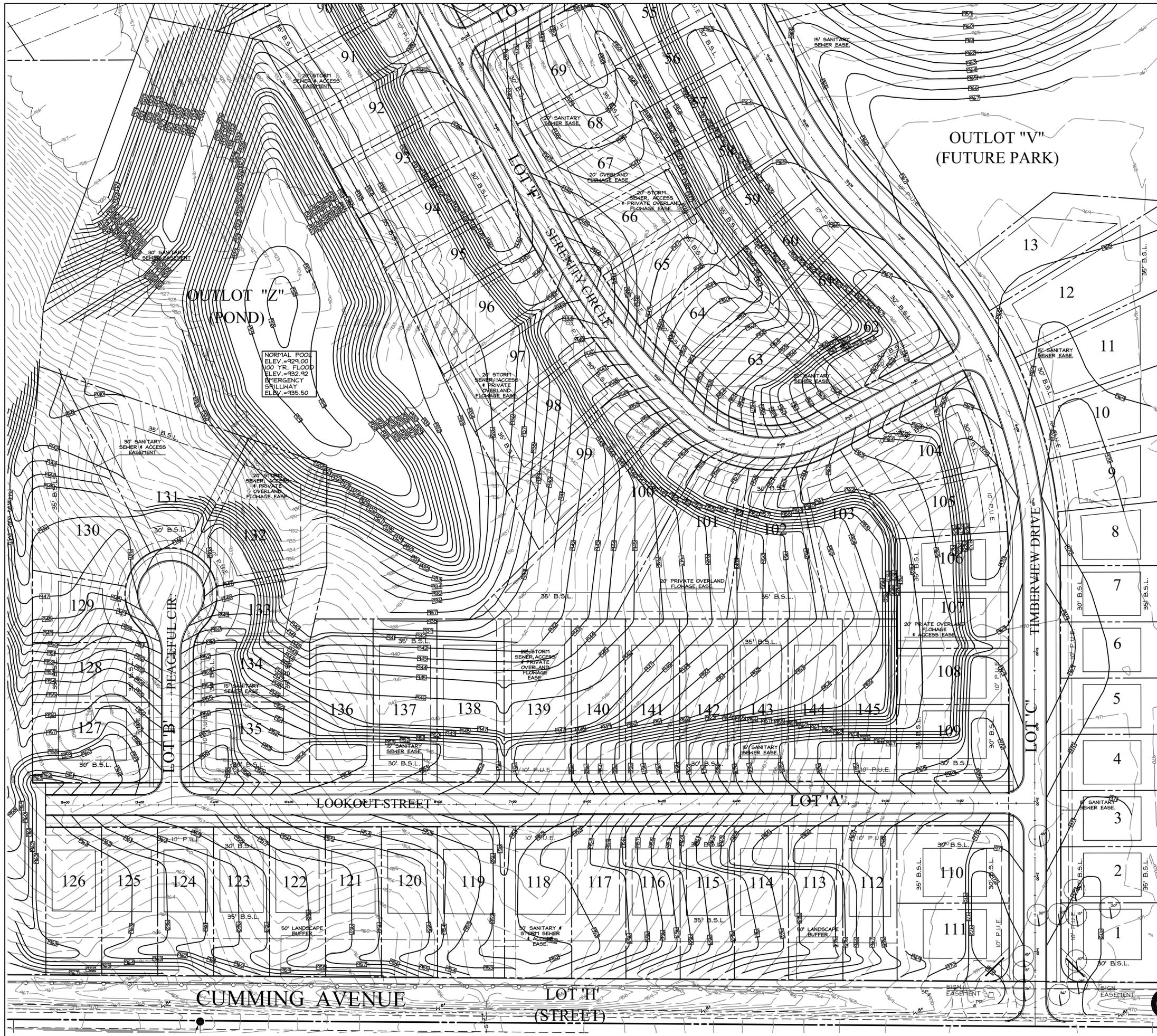
GRADING PLAN
TIMBER VIEW

JOB NUMBER
CC
1720

SHEET
4 OF 7



PRELIMINARY PLAT
TIMBER VIEW
 SHEET 5 OF 7



NORMAL POOL
 ELEV. = 924.00
 100 YR. FLOOD
 ELEV. = 932.92
 EMERGENCY
 SPILLWAY
 ELEV. = 935.50

UNPLATTET
 OWNER'S REVIEW
 25% G4 1/4" R/C
 CAPPING

- LEGEND**
- EXISTING/PROPOSED
- PLAT BOUNDARY
 - ST 12" STORM SEWER # SIZE
 - SAN 12" SANITARY SEWER # SIZE
 - W 12" WATER MAIN # SIZE
 - MANHOLE
 - STORM INTAKE
 - ⊕ FIRE HYDRANT
 - ⊗ VALVE
 - ▲ F.E.S.
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 - * * * SILT FENCE OR APPROVED FILTRATION SOCK

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 & ASSOCIATES, L.L.C.
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 9-30-2015
 REVISIONS: 10-19-2015

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]

GRADING PLAN
 TIMBER VIEW

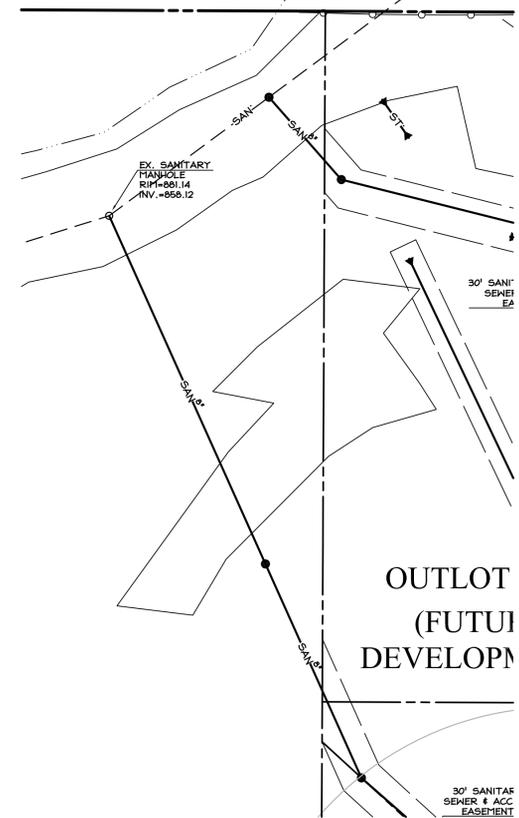
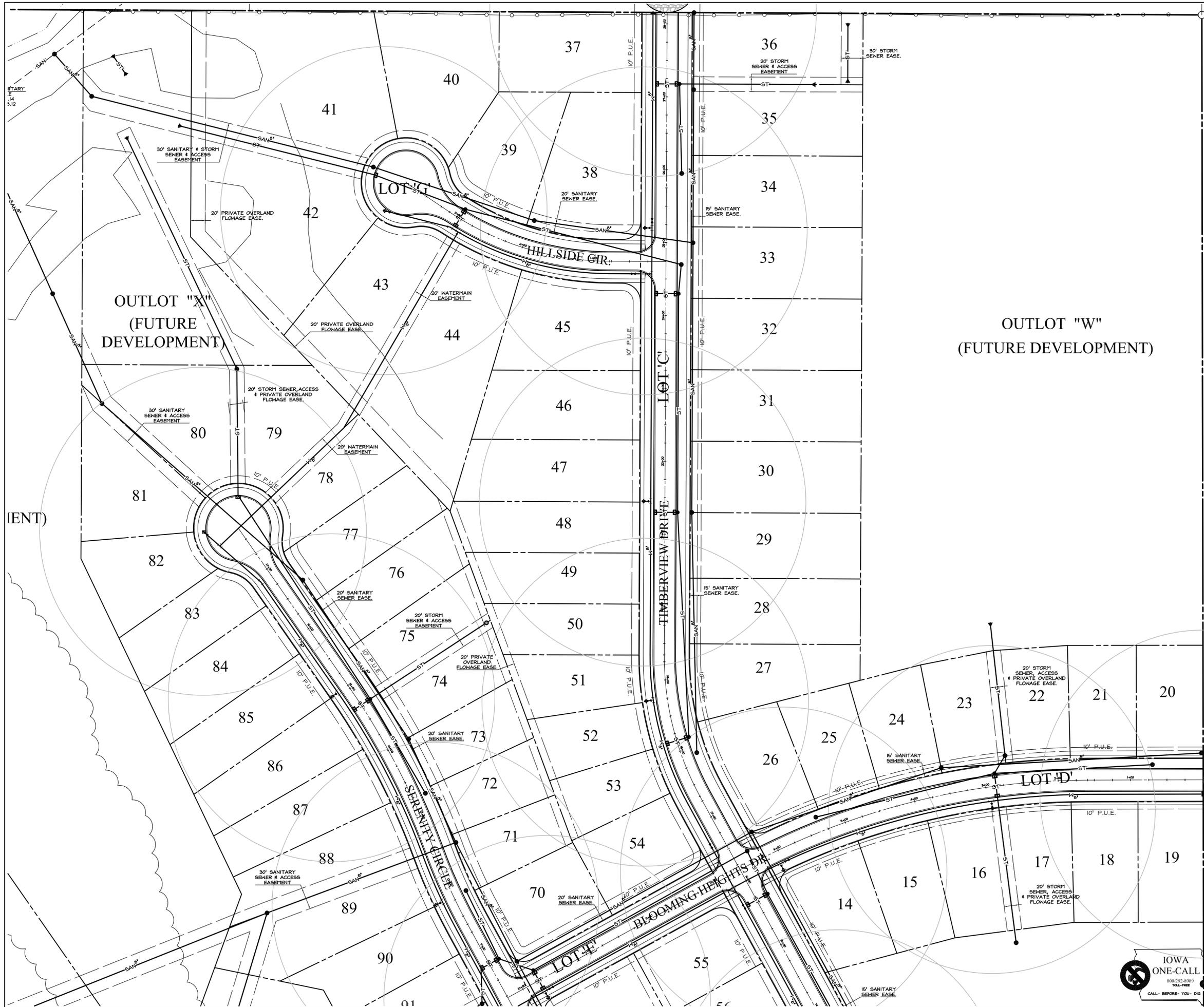
JOB NUMBER
CC 1720
 SHEET
5 OF 7



SCALE: 1"=60'

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PRELIMINARY PLAT
TIMBER VIEW
 SHEET 6 OF 7



LEGEND

EXISTING/PROPOSED	
—	PLAT BOUNDARY
— ST —	STORM SEWER # SIZE
— SAN —	SANITARY SEWER # SIZE
— W —	WATER MAIN # SIZE
○	MANHOLE
◐	STORM INTAKE
⊕	FIRE HYDRANT
⊕	VALVE
▲	F.E.S.
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
⊗	SILT FENCE OR APPROVED FILTRATION SOCK

COOPER CRAWFORD & ASSOCIATES, L.L.C.
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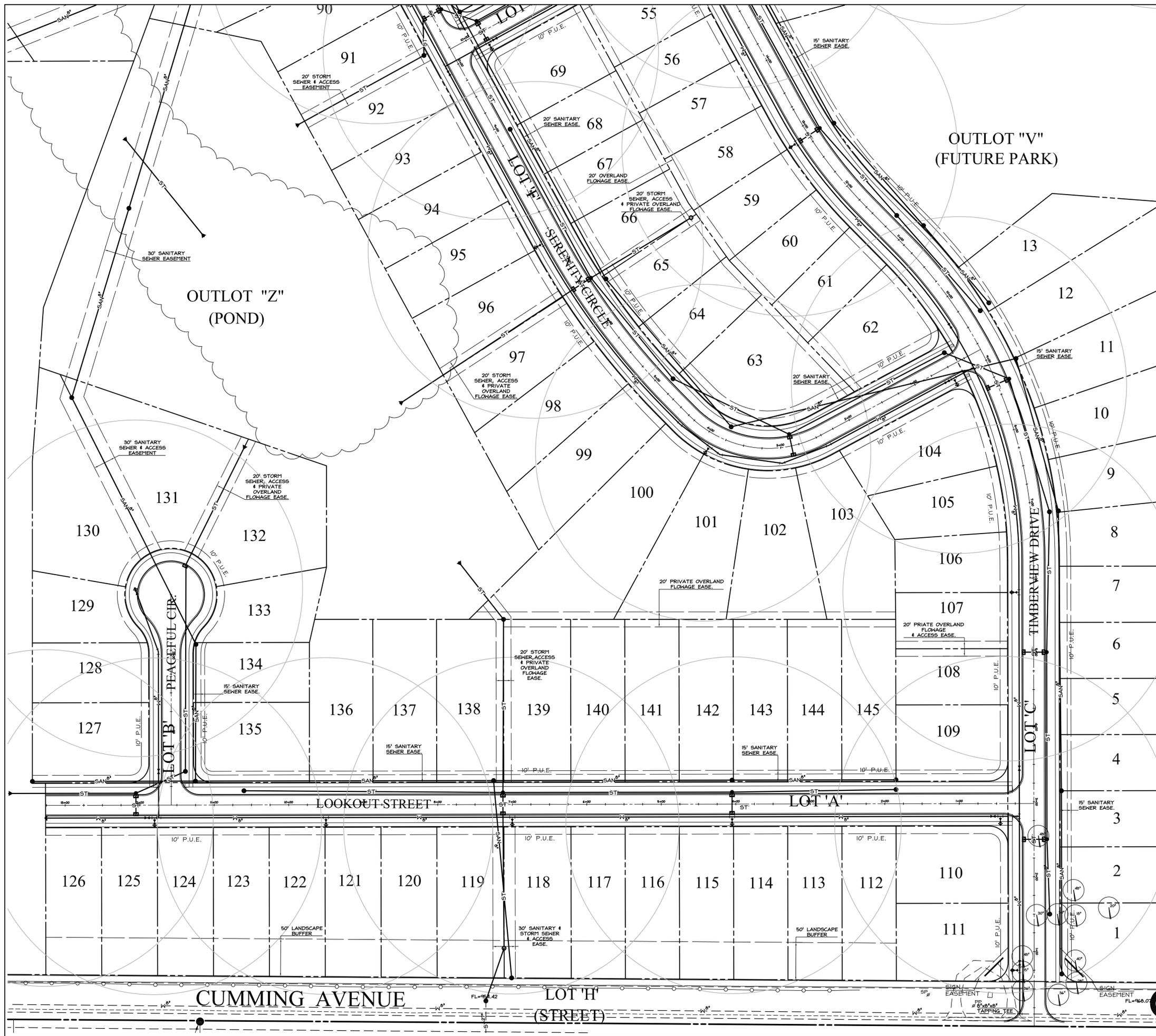
APPROVED: _____ INITIALED: _____ AS-BUILT: _____

UTILITY PLAN
 TIMBER VIEW

SHEET
 6 OF 7



PRELIMINARY PLAT
TIMBER VIEW
 SHEET 7 OF 7



UNPLATTED
 OWNER: STEVE
 2511 G4 INC
 CUMMING

LEGEND
 EXISTING/PROPOSED

	PLAT BOUNDARY
	STORM SEWER # SIZE
	SANITARY SEWER # SIZE
	WATER MAIN # SIZE
	MANHOLE
	STORM INTAKE
	FIRE HYDRANT
	VALVE
	F.E.S.
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SILT FENCE OR APPROVED FILTRATION SOCK

COOPER CRAWFORD & ASSOCIATES, L.L.C.
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APPROVED: _____ INITIALED: _____ AS-BUILT: _____

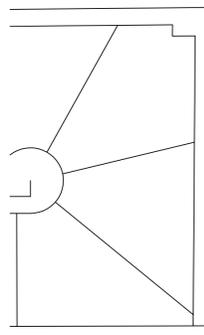
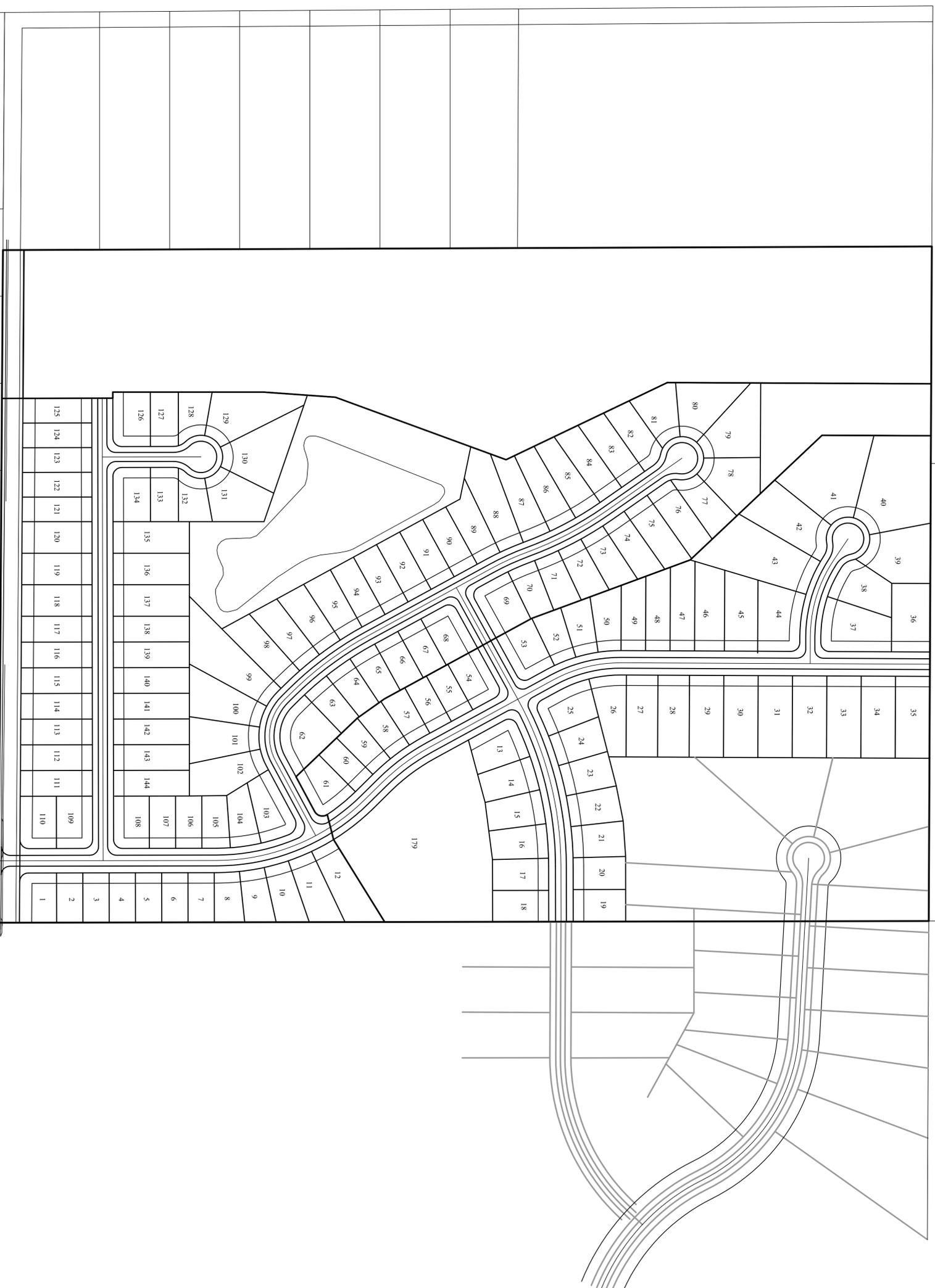
SCALE: 1"=60'

**UTILITY PLAN
 TIMBER VIEW**

SHEET
 7 OF 7

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NORWALK PROPERTY



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& ASSOCIATES, L.L.C.
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PHONE: (515) 224-1344 FAX: (515) 224-1345
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RENDERING
NORWALK PROPERTY

SHEET
1 OF 1

