

sewer on the golf course to the west. The area behind lots 17 & 18 connects to the City storm sewer system.

DEVELOPMENT HISTORY:

The area was planned as R-3 or Cluster Home Development in the original Echo Valley Community PUD. In spring 2015, the developer wished to proceed with a Cluster Home Development, but the existing in criteria in the PUD was restrictive to the proposed development style. The City worked with the developer to amend the Echo Valley Community PUD's requirements for a Cluster Home Development.

FLOODPLAIN:

None of the proposed lots are located within a floodplain.

PARKLAND:

Per previous agreements, the parkland dedication requirement was considered the golf course and a previous payment to the City during the development of prior phases in the Echo Valley Community PUD.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER.

- The final plat shows a 20' front setbacks on lots 1-14, 23, and lots 28-29.
- The final plat shows a 25' front setbacks on lots 15-22, 24-27, and 30-31.
- There are 15' PUE's and gas easements at the front of all lots and on all sides of lots 32-34.
- There is an existing 10' PUE along the rear of lots 1-15, the rear of Outlot z, and the side of lot 31.
- There is an existing 50' gas easement at the rear of lots 16-20.
- There is a 15' sanitary sewer easement at the front of lots 19-31 and on the east of lot 32.
- There is a 20' sanitary sewer on the south of lot 34.
- There is a 30' sanitary sewer easement between lots 19 & 20.
- There is a 15' storm sewer easement at the front of lots 24 and 29-30.
- There is a 20' storm sewer on the south of lot 34.
- There is a 30' storm sewer easement between lots 19 & 20.
- There is a 20' storm sewer easement between lots 15 & 16.
- There is a drainage easement at the rear of lots 25-28 that varies in width.
- There is a 25' drainage easement at the rear of lots 1 & 2.
- There is a 30' drainage easement at the rear of lots 10-15.
- There is a 67' drainage easement at the rear of lots 20-24.
- There is a drainage easement at the rear of lots 16-18 that varies in width.
- There is a 15' water main easement between lots 14 & 15.

**RELATIONSHIP TO
COMPREHENSIVE LAND
USE PLAN:**

The Future Land Use Map designates the area in question as High Density Residential. The Comprehensive Plan identifies single-family townhomes as a typical use in the High Density Residential category. This request would be in compliance with such designation.

**STAFF ANALYSIS –
ZONING ORDINANCE:**

The Final Plat consists of 34 lots, containing approximately 9.89 acres of land, west of Echo Ridge Trail and north of Beardsley Street.

The site is being developed as a Cluster Home Development per the Echo Valley Community PUD. The PUD describes specifics for the development. They include varying the setback between 20’ and 25’ to allow for the road; the reduction of typical road right-of-way from 60’ to 50 feet; and, the construction of a 26’ public road. On-street public parking is allowed to count for overflow parking. Minimum distance between buildings is 10 feet.

**STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:**

The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer’s certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.

The applicant will need to submit all other required documents prior to release of the final plat for recording.

**STAFF
RECOMMENDATION:**

Therefore, staff recommends that the request for the Final Plat of The Village on the Ridge be approved for the following conditions:

- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.
- That the Planning and Economic Development Director or his designee be authorized to sign off on the plat for recording once public works has indicated the infrastructure is acceptable. In an effort to be developer friendly, the formal (council action) acceptance of the infrastructure and the approval of the final plat needn’t occur at the same council meeting.

THE VILLAGE ON THE RIDGE

FINAL PLAT

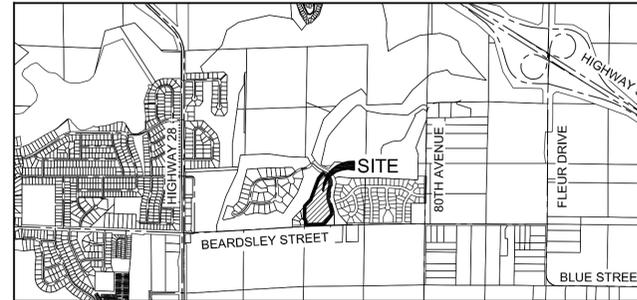
LINE DATA

LINE	BEARING	LENGTH
L1	S52°34'02"E	40.00'
L2	N22°04'13"E	92.43'
L3	S73°17'06"E	35.00'
L4	N24°08'48"E	73.53'
L5	S77°58'44"E	30.00'
L6	N27°59'31"E	70.36'
L7	S78°38'12"E	20.23'
L8	N21°48'07"W	75.93'
L9	S86°46'53"E	30.01'
L10	N8°10'18"W	78.19'
L11	N74°44'37"E	45.00'
L12	N24°00'41"W	90.96'
L13	N53°13'37"E	66.63'
L14	N40°33'07"W	95.19'
L15	S86°25'44"W	13.82'
L16	N28°56'31"E	35.58'

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	62°05'44"	125.00'	135.47'	N43°04'08"E	128.94'
C2	30°16'40"	600.00'	317.07'	N3°07'04"W	313.39'
C3	56°50'13"	125.00'	124.00'	N10°09'43"E	118.98'
C4	47°54'12"	125.00'	104.51'	N62°31'55"E	101.49'
C5	136°50'25"	105.00'	250.77'	S25°05'47"E	195.28'
C6	32°36'41"	65.00'	37.00'	S59°37'46"W	36.50'
C7	26°05'09"	600.00'	273.17'	S10°19'19"E	270.82'
C8	4°11'31"	600.00'	43.90'	S16°09'39"E	43.89'
C9	105°19'27"	25.00'	45.96'	N21°27'17"E	39.75'
C10	13°10'13"	150.00'	34.48'	N67°31'54"E	34.40'
C11	24°52'15"	150.00'	65.11'	N48°30'39"E	64.60'
C12	21°50'39"	150.00'	57.19'	N25°09'12"E	56.84'
C13	2°12'37"	150.00'	5.79'	N13°07'34"E	5.79'
C14	1°13'35"	625.00'	13.38'	N11°24'29"E	13.38'
C15	5°43'49"	625.00'	62.51'	N7°55'47"E	62.48'
C16	6°03'40"	625.00'	66.12'	N2°02'03"E	66.09'
C17	2°56'24"	625.00'	32.07'	N2°27'59"W	32.07'
C18	33°16'01"	100.00'	58.06'	N12°41'49"E	57.25'
C19	13°59'36"	100.00'	24.42'	N36°19'38"E	24.36'
C20	14°32'52"	130.00'	33.01'	N36°03'00"E	32.92'
C21	25°33'28"	130.00'	57.99'	N15°59'51"E	57.51'
C22	18°28'30"	130.00'	41.92'	N6°01'08"W	41.74'
C23	21°31'00"	130.00'	48.82'	N26°00'53"W	48.53'
C24	24°17'06"	130.00'	55.10'	N48°54'56"W	54.69'
C25	20°34'48"	130.00'	46.69'	N71°20'53"W	46.44'
C26	11°52'43"	130.00'	26.95'	N87°34'38"W	26.90'
C27	3°01'49"	150.00'	7.93'	S84°58'06"W	7.93'
C28	18°12'12"	150.00'	47.66'	S74°21'06"W	47.46'
C29	18°28'54"	150.00'	48.39'	S56°00'33"W	48.18'
C30	8°11'16"	150.00'	21.44'	S42°40'27"W	21.42'
C31	19°00'37"	150.00'	49.77'	S29°04'30"W	49.54'
C32	22°00'23"	150.00'	57.61'	S8°34'00"W	57.26'
C33	15°49'13"	150.00'	41.42'	S10°20'47"E	41.29'
C34	6°13'09"	575.00'	62.41'	S15°08'49"E	62.38'
C35	7°34'01"	575.00'	75.94'	S8°15'14"E	75.88'
C36	6°19'44"	575.00'	63.51'	S1°18'22"E	63.48'
C37	7°35'41"	575.00'	76.22'	S5°39'21"W	76.16'
C38	2°34'05"	575.00'	25.77'	S10°44'14"W	25.77'
C39	62°05'44"	100.00'	108.38'	S43°04'08"W	103.15'
C40	105°11'28"	25.00'	45.90'	N53°17'16"W	39.72'
C41	30°49'17"	215.00'	115.66'	N46°37'05"W	114.27'
C42	15°16'02"	215.00'	57.29'	N23°34'25"W	57.12'
C43	15°14'52"	215.00'	57.22'	N8°18'58"W	57.05'
C44	12°41'25"	215.00'	47.62'	N15°39'10"E	47.52'
C45	2°25'40"	460.00'	19.49'	N10°47'02"E	19.49'
C46	7°40'21"	460.00'	61.60'	N5°44'02"E	61.55'
C47	6°23'39"	460.00'	51.34'	N11°7'58"W	51.31'
C48	7°38'41"	460.00'	61.38'	N8°19'08"W	61.33'
C49	6°08'19"	460.00'	49.28'	N15°12'38"W	49.26'
C50	118°25'10"	40.00'	82.67'	N77°27'59"W	68.72'
C51	56°50'13"	100.00'	99.20'	N10°09'43"E	95.18'
C52	13°38'54"	100.00'	23.82'	N45°24'16"E	23.76'
C53	34°15'18"	100.00'	59.79'	N69°21'22"E	58.90'
C54	136°50'25"	80.00'	191.07'	S25°05'47"E	148.79'

VICINITY MAP



NORWALK, IOWA

OWNER / DEVELOPER

UNITED PROPERTIES INVEST CO LC
C/O MICHAEL COPPOLA
4521 FLEUR DRIVE, SUITE C
DES MOINES, IOWA 50321

PLAT DESCRIPTION

OUTLOT 'Y', VILLAS ON THE RIDGE, AN OFFICIAL PLAT IN THE CITY OF NORWALK, WARREN COUNTY, IOWA.
PROPERTY CONTAINS 9.89 ACRES (430,991 SQUARE FEET)
PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

BENCHMARKS

BM#1
BURY BOLT ON HYDRANT 250 FEET +/- NORTH OF CENTERLINE OF BEARDSLEY AND WEST ROW OF ECHO RIDGE TRAIL. ELEVATION=940.91
BM#2
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02

DATE OF SURVEY

APRIL, 2015

ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT (PARCEL C: CLUSTER HOME DEVELOPMENT)

LEGEND

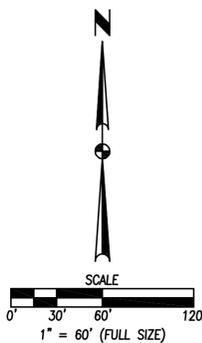
	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #18660 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
PLATTED BEARING & DISTANCE	P	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
GAS EASEMENT	G.E.	
CURVE ARC LENGTH	AL	
OUTLOT	O.L.	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	
BUILDING SETBACK LINE	---	
PLAT BOUNDARY	---	

BULK REGULATIONS

PER PUD AMENDMENT
MIN LOT AREA: 50' OR PROJECT
MIN LOT WIDTH: 20' OR 25' INTERNAL (SEE PLAN)
FRONT SETBACK: 5' SIDE W/OVERHANGS NOT TO ENCLOSE MORE THAN 2'
SIDE SETBACK:
REAR SETBACK: 30'
GOLF COURSE SETBACK: 50'
SITE BOUNDARY SETBACK: 30'
MAX BLDG HEIGHT: 35'

NOTES

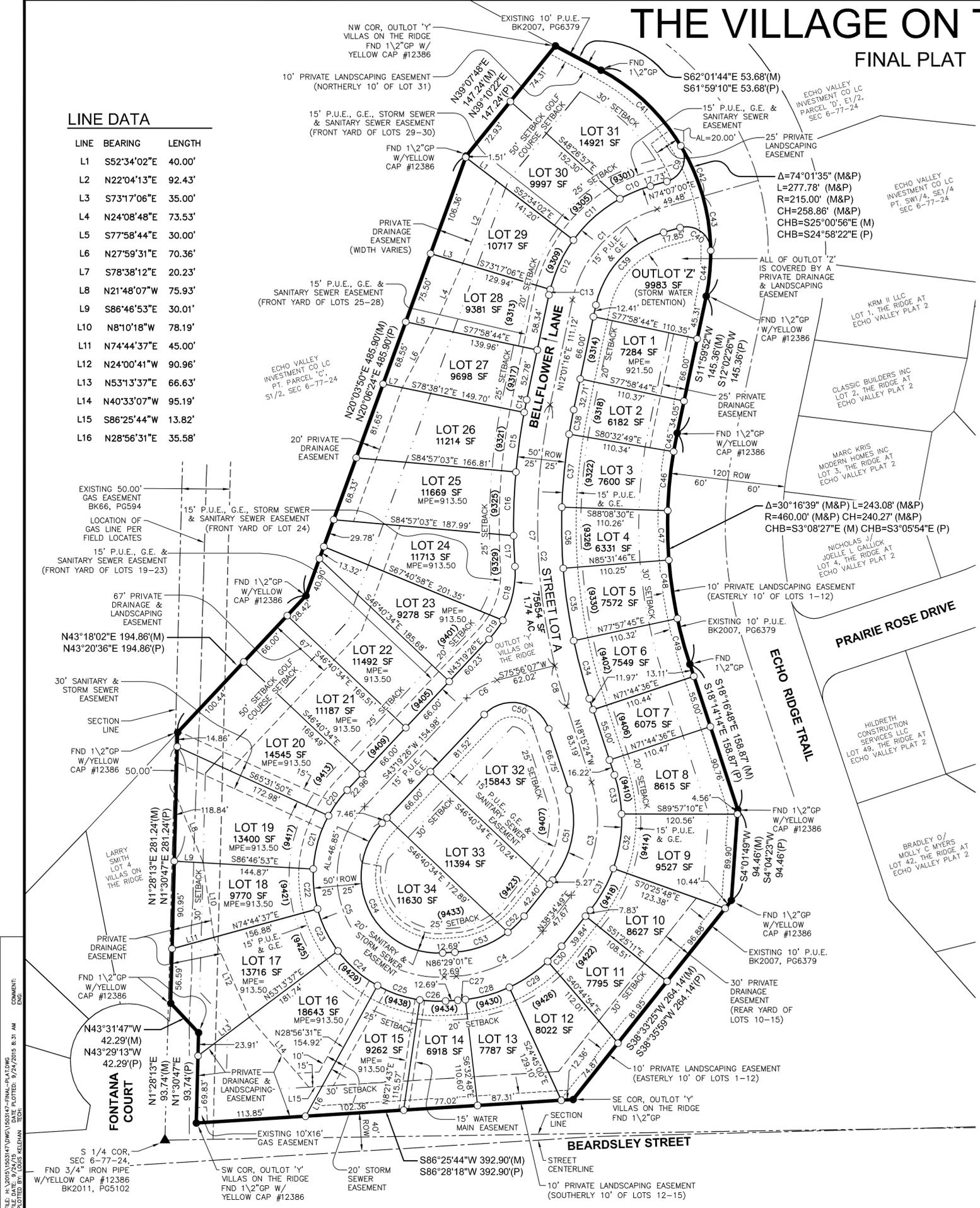
- NO LOTS SHALL HAVE DIRECT ACCESS TO ECHO RIDGE TRAIL OR BEARDSLEY STREET.
- ANY CROSSING A DRAINAGE EASEMENT SHALL MAINTAIN 6' SEPARATION FROM BOTTOM OF FENCE TO BOTTOM OF SWALE.
- DETENTION AREAS TO BE MAINTAINED BY HOMEOWNER'S ASSOCIATION.
- ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.
- NO STRUCTURES ARE ALLOWED IN ANY PUBLIC OR PRIVATE EASEMENTS.



LOUIS M. REEVE, P.L.L.C.
18660
IOWA PROFESSIONAL LAND SURVEYOR
IOWA LICENSE NO. 18660
DATE

PRELIMINARY
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
THIS SHEET



FILE: H:\V\1503147\DWG\1503147-FINAL-PLAT.DWG
PLOTTER: HP (LOUIS REEVE)
DATE: 9/24/2015 8:31 AM
DRAWN BY: LOUIS REEVE

DATE: 09/25/15
REVISIONS:
SECOND SUBMITTAL
FIRST SUBMITTAL

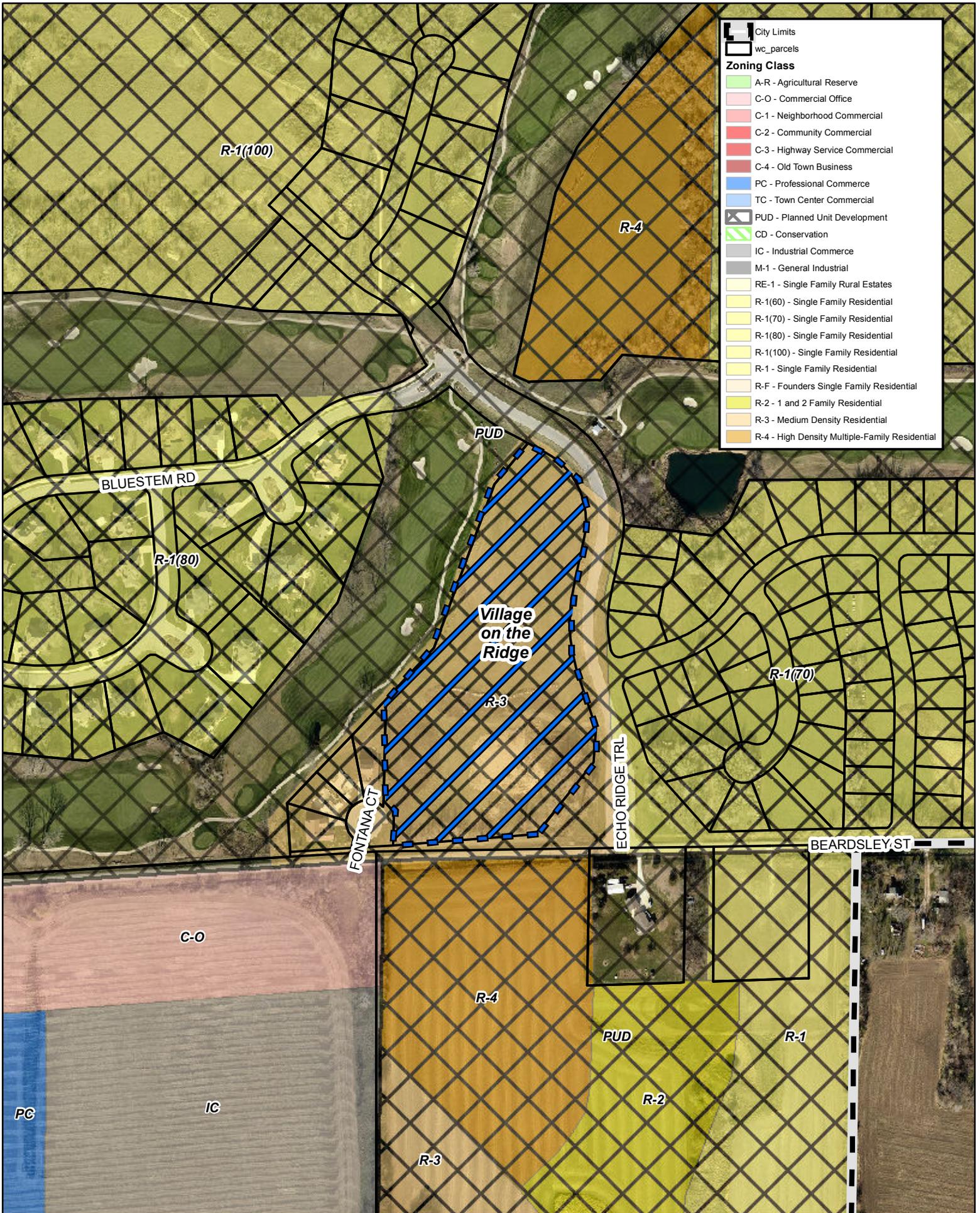
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: ENGINEER:

CIVIL DESIGN ADVANTAGE
NORWALK, IOWA

THE VILLAGE ON THE RIDGE
FINAL PLAT

1
1
1503.147



ORDINANCE NO. 15-04

AN ORDINANCE AMENDING THE MASTER PLAN AND RULES, REGULATION, AND GUIDELINES FOR THE ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT AS CONTAINED IN ORDINANCE NO. 03-08

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF NORWALK, IOWA:

SECTION 1. PURPOSE. The purpose of this ordinance is to amend the master plan and rules, regulation, and guidelines for Parcel C of the Echo Valley Community Planned Unit Development as contained in Ordinance No. 03-08.

SECTION 2. AMENDMENT. Exhibit "D" "Detached" Cluster Home Development Guidelines is hereby removed in its entirety and replaced with the following:

Exhibit "D"

"Detached" Cluster Home Development Guidelines

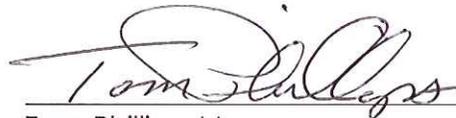
- a. Minimum setback from all boundaries of the site shall be at least 30 feet. No structures including decks, patios, or other ground structures shall project into this area. Exceptions to this provision would be any association owned entry feature including signage and landscaping.
- b. Front setback shall be 25 feet. An exception will be made for certain lots to have a front setback of 20 feet when necessary to accommodate the public street and other public infrastructure.
- c. Minimum distance between buildings shall be at least 10 feet (roof overhangs, fireplaces, etc. may encroach up to 2 feet).
- d. The maximum density for these parcels will be 6 du/acre.
- e. The owner of the cluster-home will also own the lot beneath the dwelling unit.
- f. The minimum lot area for the dwelling unit shall be 1,400 square feet and the minimum width 20 feet.
- g. The parking per unit shall be at least 2 in the garage and 2 in the driveway for a total of 4.
- h. Additional overflow parking will be required throughout the site via on-street parking. The site shall provide at least 1 parking stall for every five dwelling units.
- i. The minimum driveway dimensions shall be 16 feet in width and 25 feet in length, with the exception the lots with a front setback of 20 feet shall be allowed a driveway 20 feet in length.
- j. The parcel shall be served by a public street 26 feet in width with a 50 foot right-of-way. All other design standards for the public street shall meet the current version of SUDAS.
- k. All other municipal utilities in the parcel shall be publicly owned.
- l. No buffer will be required for these parcels since they will be developed into individual detached units and extensive landscaping and berming techniques will be utilized to enhance the sites.

m. All accessory structures or uses as permitted within Section 17.10.050.3 of the Norwalk Zoning Ordinance are permitted.

SECTION 3. SEVERABILITY CLAUSE. In any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council of the City of Norwalk, Iowa on the 21st day of May, 2015.


Tom Phillips, Mayor

ATTEST:


Jodi Eddleman, City Clerk

PREPARED BY: Luke Parris, City Planner

First Reading: April 16, 2015

Second Reading: May 7, 2015

Third Reading: May 21, 2015

I certify that the foregoing was published as Ordinance No. 15-04 on the 21st day of May, 2015.

June


Jodi Eddleman, City Clerk

AFFIDAVIT OF PUBLICATION

COPY OF NOTICE

OFFICIAL PUBLICATION

City of Norwalk ORDINANCE NO. 15-04

Ordinance amending the Master Plan and Rules, Regulation and Guidelines for the Echo Valley Community Planned Unit Development as contained in Ordinance No. 03-05

Passed by City Council on May 21, 2015.

Additional information and a full copy of the ordinance is available for inspection at City Hall, 705 North Avenue, Norwalk, IA 50211; 515/981-0228 or on line at <http://www.norwalk.iowa.gov/YourGovernment.aspx>

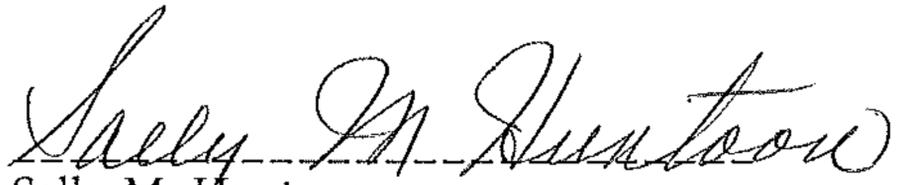
I, Sally M. Huntoon on oath, do say that I am the Editor of the NORTH WARREN TOWN AND COUNTY NEWS, a weekly newspaper of general circulation, published at Norwalk, in Warren County, Iowa and that the attached Official Publication of the City of Norwalk in re: Ordinance 15-04 on Amending Master Plan and Rules, Regulations and Guidelines for Echo Valley Community Planned Unit Development published in the above-named newspaper as follows:

First Publication: June 4, 2015

Second Publication: June 11, 2015

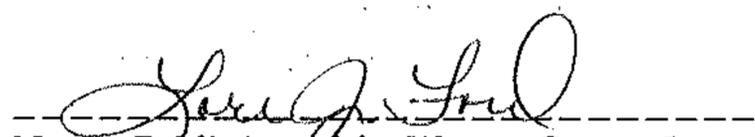
Third Publication: June 18, 2015

Printer's Fee: \$6.98


Sally M. Huntoon

Sworn to before me and signed by
Sally M. Huntoon

Dated this 5th day of June, 2015.


Notary Public in and for Warren County Iowa

7/16/17