

**CITY OF NORWALK
REPORT TO THE NORWALK PLANNING COMMISSION**

- REQUEST:** Request from Cort Landing, LLC to approve the Preliminary Plat of *Cort Landing Plat 1*
- MEETING DATE:** October 12, 2015
- STAFF CONTACT:** Luke Parris, AICP
City Planner
- APPLICANT(S):** Cort Landing, LLC Civil Engineering Consultants
340 Wright Road, Suite E 2400 86th Street, Unit 2
Norwalk, Iowa 50211 Urbandale, Iowa 50322
- GENERAL DESCRIPTION:** This request would create 31 single family lots and 1 commercial lot, located west of Sunset Drive, north of Wright Road, and south of Elm Avenue.
- IMPACT ON NEIGHBORHOOD:** Property at lot 1 of Orchard Ridge Plat 1 has notified the City of past problems with the drainage in the rear of their lot. This plat will develop an extension of Pine Avenue and place a storm sewer intake and pipe that will convey storm water from the area behind lot 1 of Orchard Ridge Plat 1 under Pine Avenue onto Lot 32 of Cort Landing. This should help the drainage alleviate some past drainage problems.
- VEHICULAR & PEDESTRIAN TRAFFIC:** The plat shows a connection north to Elm Avenue and a connection east to Sunset Drive/Iowa Highway 28. The developer will need to work with the Iowa Department of Transportation on the access permitting to Iowa Highway 28. City staff had previously talked with the Iowa DOT and been told that the access location was appropriate for a full access.
- TRAIL PLAN:** Standard 5' city sidewalks are shown throughout the plat. There is not current plan for trails in the area. The closest trail connections would be along Orchard Hills Drive to the west and along North Avenue to the north.
- ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:** The area is currently zoned in the Dobson Planned Unit Development (PUD). The Dobson PUD was amended on June 4, 2015 to allow for R-1(60) and C-2 Commercial. Surrounding zoning for the area is:
- North: R-1(70) & R-3
 - East: C-3 & R-1
 - South: M-1
 - West: R-4

**BUFFERS REQUIRED/
NEEDED:**

The area to the west is identified as R-4 and will require a buffer, which would have a standard 50' wide buffer. The land to the north/west identified as R-3 will require a standard 30' wide buffer. Both the R-3 and the R-4 areas are undeveloped and therefore will be required to provide the buffer on their site.

The plat shows a C-2 lot that is currently undeveloped and adjacent to R-1 uses. Per the Dobson PUD, any part of the commercial parcel that is adjacent to a single family lot shall have a 30' wide buffer that meets city code. The new buffer ordinance does allow for a buffer to be reduced, following the buffer standards, when the boundary of a zoning district is along a public street right-of-way.

DRAINAGE:

The developer submitted a Storm Water Management Plan that was reviewed by the City Engineer. Storm water for the single family development is collected in the storm sewer system and managed in single detention area (detention ponds do not hold standing water) located behind lots 13, 14, 22, and 23. The detention area discharges to an existing drainage way located inside a drainage easement through the southern area of the plat. The storm water from the detention area is required to be released at an unimproved rate.

The commercial lot 32 is located within a separate drainage basin. The drainage from the west is collected in an intake, passed under Pine Avenue in a pipe and outlet onto lot 32. A detention system has not been designed for lot 32 at this time. Detention design is dependent on the type of development and will occur during the site plan phase. Lot 32 is allowed to naturally drain in its undeveloped state and is allowed to pass through any improved storm water that is drained onto the lot.

**DEVELOPMENT
HISTORY:**

The area was planned as a PUD on July 14, 2004 and amended on June 4, 2015.

FLOODPLAIN:

None of the proposed lots are located within a floodplain.

PARKLAND:

The subdivision ordinance requires 783 square feet of parkland per single family dwelling unit. The development has 31 lots and is required to provide 0.56 acres of parkland, or the equivalent per Subdivision Regulations, to the City. No park is shown on site. Parkland dedication requirements will be finalized during final platting.

**UTILITIES: WATER,
SANITARY SEWER,
STORM SEWER.**

- The plat shows a 30' front setback on the single family lots.
- The plat shows a 30' front setback on the commercial lot (per PUD).
- Sideyard setbacks are 7' minimum with 15' total for single family lots.
- Sideyard set back is 20' or 0' for complexes for the commercial lot.
- There are 10' utility easements shown at the front of all proposed lots.
- There is a 35' sanitary sewer easement along Sunset Drive/Iowa Highway 28 along the north of lot 32.
- There is a 30' sanitary sewer easement on the north of lots 17 & 18.
- There is a 25' sanitary sewer easement at the front of lots 13-17.
- There is a 20' sanitary sewer easement at the front of lots 26-31 and on the north of lot 31.
- There is a 20' water main easement between lots 25 & 26.
- There is a 20' storm sewer easement between lots 12 & 13 and lots 22 & 23.
- There is a storm water detention easement in the rear of lots 13, 14, 21, 22, and 23.
- There is a 60' overland flowage easement through lots 11, 12, 13, 23, 24, 25, and 26.

**RELATIONSHIP TO
COMPREHENSIVE LAND
USE PLAN:**

The Future Land Use Map designates the area in question as Medium Density Residential. The Comprehensive Plan (page 5.12) identifies single family homes as a typical land use in this category. The single family uses match the Comprehensive Plan's Future Land Use Map. The PUD does call for a commercial lot in the location of Lot 32. The PUD was developed prior to the development of the current Future Land Use Map.

**STAFF ANALYSIS –
ZONING ORDINANCE:**

The Preliminary Plat consists of 31 single family lots and 1 commercial lot, containing approximately 14.39 acres of land, which is located south along Sunset Drive, on the west side of the road, north of Wright Road and south of Elm Avenue. The lots vary in size measuring from 7,977 SF to 34,655 SF.

Streets shown will be dedicated to the City for street use upon approval of the Final Plat. The designated street right-of-way is 60 feet with a 26' wide road in the cul-de-sacs and 28' wide road for the through streets.

The required front setback for single family lots is 30' with a minimum lot width of 60 feet. The sideyard setbacks are 7' minimum with 15' total for both sideyards.

The required front setback for the commercial lot is 30' per the Dobson PUD. The sideyard setbacks are 20' minimum however a complex is allowed to have 0' sideyard setback. The Dobson PUD also specifically prohibits the following uses on the commercial lot:

- Bars and night clubs, including after-hours businesses;
- Convenience stores, gas stations, and service stations;
- Delayed deposit service businesses;
- Liquor stores;
- Pawnshops;
- Smoking lounges and dens; and,
- Tobacco stores.

**STAFF ANALYSIS –
SUBDIVISION
ORDINANCE:**

The Subdivision Ordinance requires that Preliminary Plat submissions details on lot design, street layout, sanitary sewer layout, water main layout, grading, and storm water management. All information has been submitted by the applicant.

**STAFF
RECOMMENDATION:**

Therefore, staff recommends that the request for the Preliminary Plat of Cort Landing Plat 1 be approved for the following conditions:

- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

PRELIMINARY PLAT
CORT LANDING
PLAT 1
 NORMALK, IOWA
 SHEET 1 OF 2

PROPERTY OWNER / APPLICANT:
 CORT LANDING, LLC
 340 WRIGHT ROAD, SUITE E
 NORMALK, IOWA 50211

LEGAL DESCRIPTION
 LOT 1, ORCHARD RIDGE PLAT 3, AN OFFICIAL PLAT, CITY OF NORMALK, WARREN COUNTY, IOWA, RECORDED IN BOOK 2006, PAGE 92394 AT THE WARREN COUNTY RECORDER'S OFFICE, AND CONTAINS 14.349 ACRES MORE OR LESS.

ZONING
 DOBSON PLANNED UNIT DEVELOPMENT
 LOTS 1-31: R-1 (60)
 LOT 32: C-2 COMMERCIAL

BULK REGULATIONS
 R-1 (60)
 MINIMUM LOT AREA - 1500 SF
 MINIMUM LOT WIDTH - 60'
 FRONT YARD SETBACK - 30'
 REAR YARD SETBACK - 35'
 SIDE YARD SETBACK - 15' TOTAL (MIN. 7' ONE SIDE)
 HEIGHT LIMIT - 35'
 C-2 COMMERCIAL
 MINIMUM LOT AREA - 20,000 SF
 MINIMUM LOT WIDTH - 100'
 FRONT YARD SETBACK - 30'
 REAR YARD SETBACK - 35'
 SIDE YARD SETBACK - 20' (0' FOR COMPLEX)
 HEIGHT LIMIT - 50'

UTILITIES
 CITY OF NORMALK WATER WORKS
 CITY OF NORMALK SANITARY SEWER SYSTEM
 CITY OF NORMALK STORM SEWER SYSTEM

FLOOD ZONE
 ZONE 'X'
 FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 14181C0131E, REVISED MARCH 2, 2004.
 ZONE 'X'
 FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 14181C0133F, REVISED OCTOBER 16, 2014.

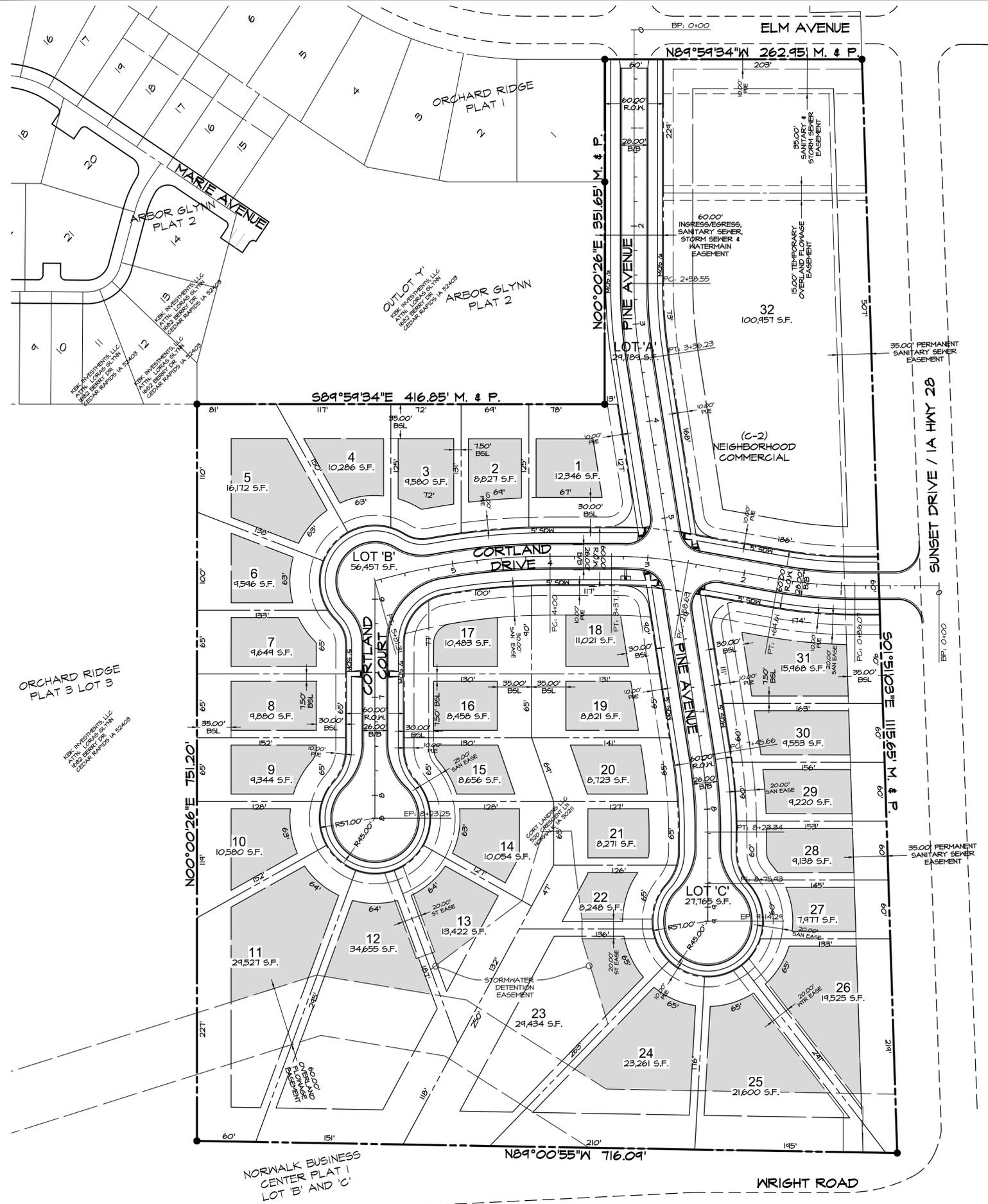
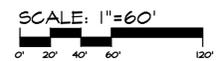
- NOTES**
1. ALL STORM SEWER EASEMENTS ARE TO BE 20 FEET WIDE OR TWO TIMES THE DEPTH, WHICHEVER IS GREATER.
 2. ALL SANITARY SEWER EASEMENTS ARE TO BE 30 FEET WIDE OR TWO TIMES THE DEPTH, WHICHEVER IS GREATER.
 3. THE USE OF PUBLIC UTILITY EASEMENTS IS SUBORDINATE TO THE CITY'S USE OF ITS DESIGNATED EASEMENT.
 4. SOME LOTS ACCEPT DRAINAGE FROM ADJACENT PROPERTY. BUILDING ON THESE LOTS MUST TAKE INTO ACCOUNT UPSTREAM DRAINAGE.
 5. LOTS 'A', 'B', 'C' AND 'D' ARE TO BE DEEDED TO THE CITY OF NORMALK FOR STREET PURPOSES.
 6. STRUCTURES AND FENCES ARE PRECLUDED WITHIN EASEMENTS.
 7. ALL DRAINAGE AND DETENTION EASEMENTS ARE PRIVATE.
 8. STORMWATER DRAINAGE AND DETENTION FOR LOT 33 WILL BE REQUIRED DURING THE SITE PLAN DEVELOPMENT PHASE.

CERTIFICATIONS

	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JERRY F. OLIVER, IOWA REG. NO. 7844, DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026. PAGES OR SHEETS COVERED BY THIS SEAL.
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. JERRY F. OLIVER, IOWA REG. NO. 7844, DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026. PAGES OR SHEETS COVERED BY THIS SEAL. THIS SHEET ONLY.

LEGEND

EXISTING/PROPOSED	DESCRIPTION
—	PLAT BOUNDARY
ST 18"	STORM SEWER & SIZE
SAN 8"	SANITARY SEWER & SIZE
W 8"	WATER MAIN & SIZE
○	MANHOLE
⊕	STORM INTAKE
⊕	FIRE HYDRANT
⊕	VALVE
△	F.E.S.
—	EXISTING CONTOURS
—	PROPOSED CONTOURS
—	SILT FENCE
—	EXISTING TREE LINE
P.O.B.	POINT OF BEGINNING
B.S.L.	BUILDING SETBACK LINE
⊕	MAIL BOX CLUSTER
⊕	STREET LIGHT POLE



Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12, Des Moines, Iowa, 50322
 515.276.4884 • Fax: 515.276.7084 • mail@cecinc.com



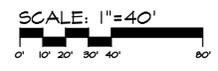
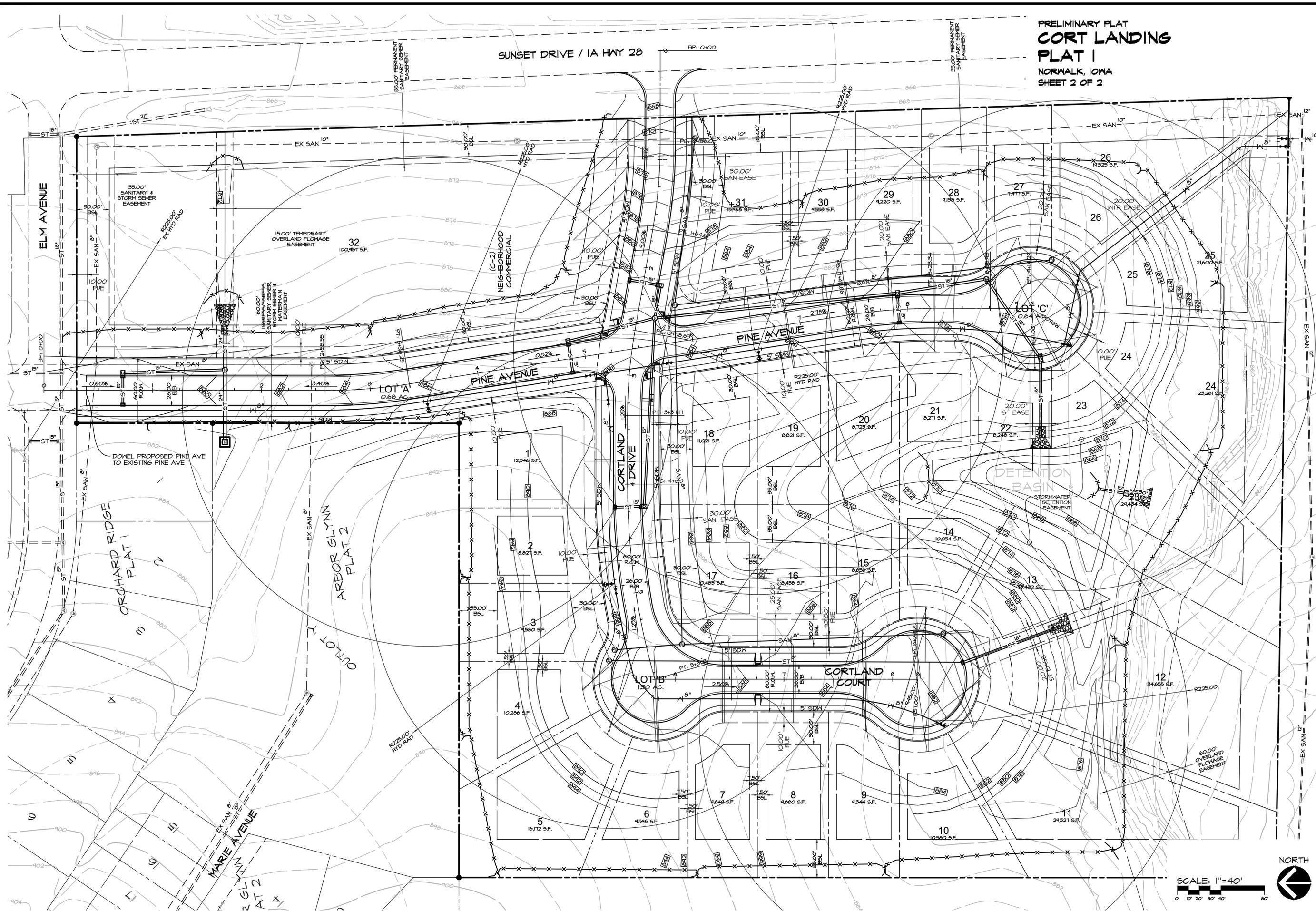
DATE:	REVISIONS	COMMENTS
AUGUST 04, 2015	1	2015-04-17
	2	2015-10-02
	3	
	4	
	5	JFO
	6	PC

CORT LANDING PLAT 1
 NORMALK, IOWA
PRELIMINARY PLAT - DIMENSIONS

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SUNSET DRIVE / IA HWY 28

PRELIMINARY PLAT
CORT LANDING
PLAT 1
NORWALK, IOWA
SHEET 2 OF 2



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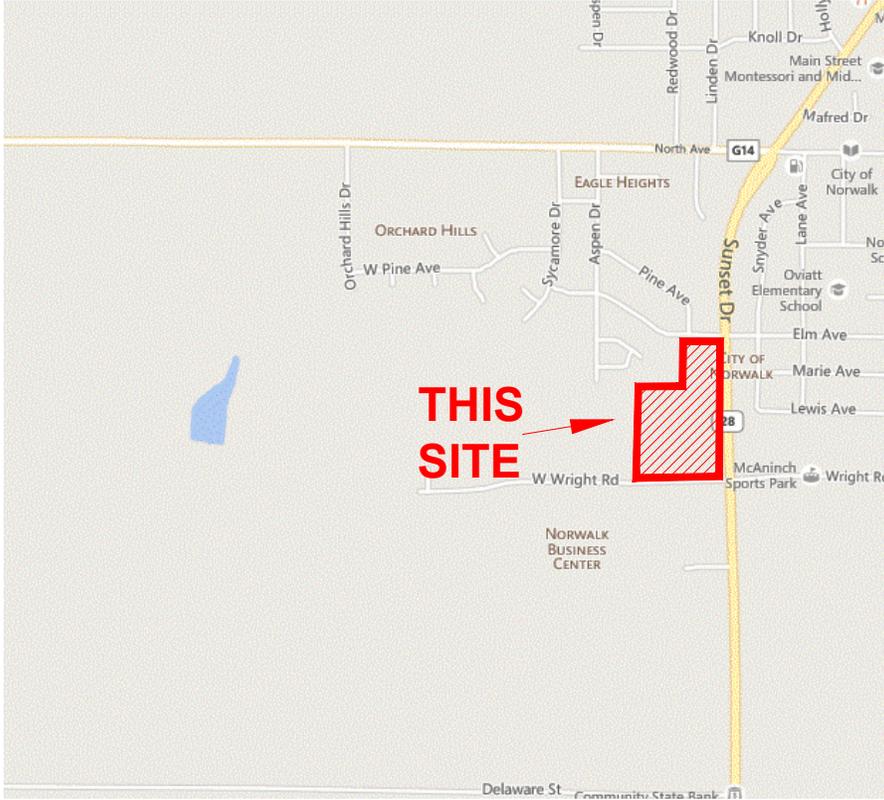


DATE:	REVISIONS	COMMENTS
AUGUST 04, 2015	1	2015-04-17
	2	2015-10-02
	3	
	4	
	5	JFO
	6	PC

CORT LANDING PLAT 1
NORWALK, IOWA
PRELIMINARY PLAT - GRADING & UTILITIES

SHEET
02
OF 02
E-7222

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CORT LANDING PLAT I

VICINITY SKETCH

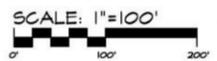
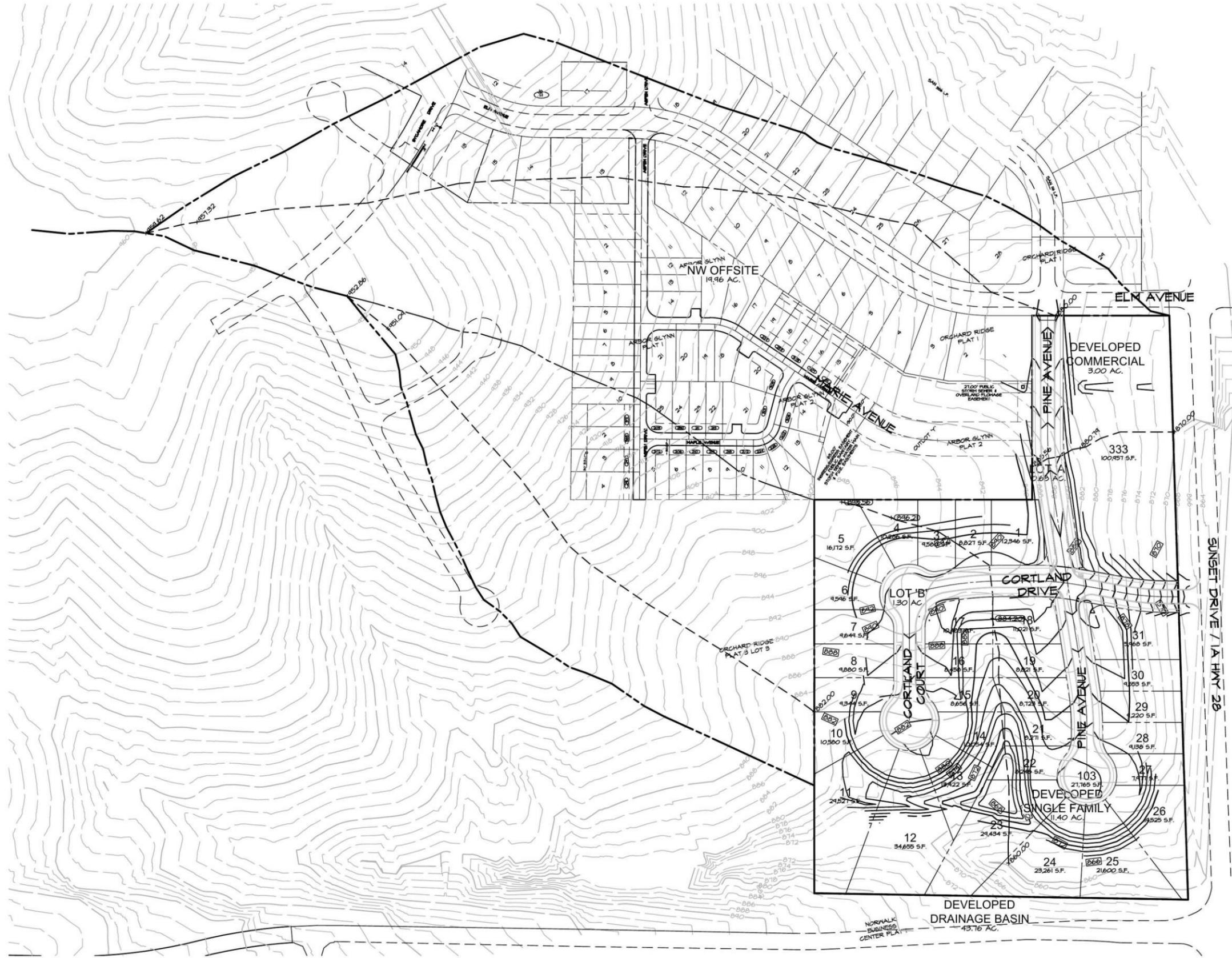
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2400 86th Street . Unit 12 . Des Moines, Iowa 50322
 515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com

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DEVELOPED DRAINAGE MAP
 NORWALK, IOWA
DEVELOPED DRAINAGE MAP

SHEET
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 03

DATE:	SEPTEMBER 17, 2015	REVISIONS	COMMENTS
		1	
		2	
		3	
		4	
		5	JPO
		6	PC

DATE OF SURVEY:
 DESIGNED BY:
 DRAWN BY:



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 515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

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