



**City Council Regular Business Meeting Agenda**  
**Thursday, October 20, 2016, 6:00 p.m.**  
**City Hall – 705 North Avenue**

**COUNCIL MEETINGS**

City Hall  
Council Chambers  
1<sup>st</sup> and 3<sup>rd</sup>  
Thursdays at  
6:00 P.M.

Tom Phillips  
Mayor

Council Members:  
Erika Isley  
Ed Kuhl  
David Lester  
Jaki Livingston  
Stephanie Riva

Luke Nelson  
City Manager

Jean Furler  
Finance Director

Jodi Eddleman  
City Clerk

Ryan Coburn  
Fire Chief

Greg Staples  
Police Chief

Tim Hoskins  
Public Works Director

Nancy Kuehl  
Parks & Recreation  
Director

Vacant  
Planning and Economic  
Development Director

Holly Sealine  
Library Director

Jim Dougherty  
City Attorney

1. Call to order.
2. Approval of agenda.
3. Presentations-  
Recognize the Dog Park Committee
4. Welcome of guests and public comment.  
(3 minute limit, no action)
5. Approve minutes-  
October 6, 2016 regular city council meeting
6. Consent agenda-
  - a) Expenditures.
  - b) Tax abatements.
  - c) Resolution setting public hearing date to issue General Obligation Bonds not to exceed \$7.2 Million.
  - d) Resolution authorizing consent of bond counsel given relationships with underwriters.
  - e) Resolution setting public hearing date on designation of the expanded Norwalk Urban Renewal Area and on Urban Renewal Plan Amendment.
  - f) Resolution authorizing settlement of potential litigation with Mike Pettit related to employment termination.
  - g) Approval of re-appointments to the Utility Advisory Commission for Newton Standridge and Dan Merriman.
  - h) Receive and file monthly reports.
7. Consideration of the first and possibly more readings of an ordinance amending the code of ordinances of the City of Norwalk Chapter 55 Animal Protection and Control amending the definition of dog at large. Nancy Kuehl
8. Consideration of the first and possibly more readings of an ordinance amending the code of ordinances of the City of Norwalk Chapter 177 Rates and Fees by amending section 177.01 2. Chapter 24 Parks and Recreation Fees. Nancy Kuehl
9. Resolution accepting infrastructure for Market Place at Echo Valley. Tim Hoskins
10. Request from United Properties LC to approve the final plat of the Marketplace at Echo Valley. Luke Parris
11. Request from United Properties LC to approve the site plan for Lot 3 of the Marketplace at Echo Valley. Luke Parris
12. Request from United Properties LC to approve the Mercy Clinic site plan for Lot 4 of the Marketplace at Echo Valley. Luke Parris
13. Approval of an engineering agreement for the Founders' District water main 2. Tim Hoskins
14. Approval of an engineering agreement for Lakewood Drive improvements. Tim Hoskins

15. Discuss and consider structure of economic development. Luke Nelson
16. Consideration of the first and possibly more readings of an ordinance amending refund policies.
17. Council inquiries and staff updates.
18. Closed session pursuant to Iowa Code Chapter 21.5 (1) (c) to discuss strategy with counsel in a matter that is presently in litigation where its disclosure would be likely to prejudice or disadvantage position of the City in that litigation.
19. Adjournment.

## UNABRIDGED MINUTES OF THE NORWALK CITY COUNCIL MEETING ON 10-06-16

(Minutes to be approved at the October 20, 2016 meeting)

Mayor Phillips called the City Council meeting to order at 6:02 p.m. Present at roll call: Ed Kuhl, Stephanie Riva, Erika Isley, David Lester and Jaki Livingston(RC = roll call vote)

Staff present included: Luke Nelson, City Manager; Jodi Eddleman, City Clerk; Jean Furler, Finance Director; Nancy Kuehl, Parks and Recreation Director; Holly Sealine, Library Director; Greg Staples, Police Chief; Tim Hoskins, Public Works Director; Ryan Coburn, Fire Chief; Luke Parris, City Planner and Jim Dougherty, City Attorney.

Mayor Phillips asked that staff reports and council inquiries be added to the agenda. Kuhl asked about item E on the consent. Hoskins replied that it could potentially cost 8,000. to relocate hydrants along the west north trail.

**16-219** Motion by Livingston, seconded by Riva to approve the agenda, carried unanimously by voice vote.

**16-220** Motion by Livingston, seconded by Riva to approve the minutes of the September 15<sup>th</sup> regular city council meeting and to approve the minutes of the September 29<sup>th</sup> business meeting/worksession, carried unanimously by voice vote.

**Consent** included tax abatements; liquor license renewal for Git N Go Store 20, proclamation for the Daughters of the American Revolution 75<sup>th</sup> year anniversary; Resolution No 1006-16-114 approving perpetual sidewalk easement with St. Johns Parish; Resolution 1006-16-115 authorizing the disposal of an iPad expenditures.

ADVENTURE LIGHTING	POOL	8.40	IA WINDOW	CITY HALL EXTERIOR
AIA CORPORATION	EMBROIDERY	435.97	JAMES OIL	DYED DIESEL
ARROW INTL	SUPPLIES	1,341.51	MAD SCIENCE	MAD SCIENCE OF CENTRAL
BOUND TREE	SUPPLIES	2,889.57	MARY JANE SHARP	FITNESS CLASSES
BROOKLYN HAGEMAN	PARTS	21.39	MCHS EMS PROGRAM	CEH CLASS
BROWN EQUIPMENT	FERRIS MOWER	319.75	MEDICAP PHARMACY	PRESCRIPTION
CALHOUN BURNS	50TH AV BRIDGE	10,426.20	MENARDS	MATERIALS
CAPITAL SANITARY	WINDFLOWER PARK	15.00	MERCY COLLEGE	ECARD VETTERICK
CARPENTER UNIFORM	UNIFORM ALLOW	347.95	METRO WASTE	CURB IT
CENTURYLINK	PHONE SERVICE	1,703.90	MIDAMERICAN ENERGY	UTILITIES
CJ MOYNA	BEARDSLEY	254,396.22	MUNICIPAL SUPPLY	TOOLS
COMPASS BUSI	WATER INVOICES	1,137.71	NATIONAL FIRE	MATERIALS
CONFLUENCE	SUB AREA 1	2,012.48	NORWALK READY	9171 PONDEROSA
CONSTRUCTION AG	CONVEYOR BELTING	189.97	OPTOMETRIC	GLASSES ALLOW
DELAGE LANDEN	COPIERS LEASE	701.08	PEPSI-COLA	SUPPLIES
DES MOINES IRON	MATERIALS	330.13	PIONEER	MATERIALS
DES MOINES STAMP	CLAIMS STAMP	35.70	PLUMB SUPPLY	PART
DSM WATER WORKS	LAB FEES	40,029.07	PURCHASE POWER	POSTAGE CITY HALL
ELLIOTT EQUIP	PARTS	13.56	RADAR ROAD TEC	RADAR CERTIFICATIONS
FORTERRA	PARTS	1,020.00	SANDSTONE MANAGE	ORCHARD VIEW
FREEDOM TIRE	P130 TIRES	288.92	STOREY KENWORTHY	OFFICE/CC CHAIRS
GREATER DSM PARTNER	MEETING LUNCH	22.26	TERMINIX INTL	PEST CONTROL
GREGG YOUNG	P130 ALIGNMENT	238.93	THE EMBLEM AUTHORITY	SHOULDER PATCHES
HARLAND TECH	TONER	273.65	TYLER TECHNOLOGIES	PYMT SERVICE
HAWKINS, INC.	POOL CHEMICALS	110.00	ULINE	CONFERENCE TABLE
HOTSY	FLEETWASH	440.00	UNITY POINT CLINIC	2016 DEA REG
IMWCA	PREMIUMS	11,589.00	UNITY POINT CLINIC	RANDOM DRUG TEST
INDOFF INC	OFFICE SUPPLIES	557.51	UTILITY EQUIP	PARTS
INTL CODE COUNCIL	MEMBERSHIP	325.00	V&K	GENERAL ENGINEERING

**16-221** Motion by Kuhl, seconded by Livingston to approve the consent agenda, passed unanimously, RC.

**16-222** Motion by Lester, seconded by Riva to approve the liquor license for the Norwalk Student Education Foundation passed 5-1 with Livingston abstaining.

#### **Norwalk Dog Park**

January 1, 2017 there will be a fee for residents and nonresidents to use the Norwalk Dog Park. Nancy is proposing a 25.00 resident fee per family and a 30.00 nonresident fee per family. Council asked if the maintenance fees are backed into the 25.00, Nancy replied yes. Isley asked about installing a key fab similar to the one at the school. Nancy replied that the school spent over 6,000 for the system. Council directed Nancy to charge a 25.00 resident fee per family and a 30.00 nonresident fee per family.

#### **Salary adjustment for interim Community/Economic Development Director Luke Parris**

The adjustment would be 60% of the difference between Luke Parris salary and the former Community/Economic Development Directors salary; which equates to 9,946 annually or 828. monthly.

**16-223** Motion by Livingston, seconded by Isley to approve Resolution 1006-16-116 appointing Luke Parris as interim Community Development Director, with an increase in salary equating to 9,946. Annually, passed unanimously, RC.

#### **Arbor Glynn Plat 3 – a replat of Arbor Glynn Plat 2**

Request from KBK Investments LLC to approve a final plat for Arbor Glynn Plat 3 which is a replat of Arbor Glynn Plat 2, the replat is for the southeast corner of Arbor Glynn Plat 2 which originally had eight two family townhome lots. The replat is a realignment of lot lines to allow for 8 single family lots that meet the appropriate setbacks.

**16-224** Motion by Livingston, seconded by Riva to approve Resolution 1006-16-117 approving the final plat of Arbor Glynn Plat 3, passed unanimously, RC.

#### **Consideration of a proposed ordinance adding stop signs.**

**16-225** Motion by Riva, seconded by Livingston to approve the first reading of an ordinance amending the code of ordinances by approving placement of stop signs within new subdivision or other identified locations, passed unanimously, RC.

**16-226** Motion by Riva, seconded by Livingston to approve the second reading and waive the third reading of Ordinance 16-14 amending the code of ordinances by approving placement of stop signs within new subdivision or other identified locations, passed unanimously, RC.

#### **Consideration of an ordinance amending refund policies**

The Construction Board of Appeals directed staff to move forward and amend the city's electrical code, building code, mechanical code, plumbing code and residential code by removing the language "refunds shall be as established by the Council." This give allows the CBA to make those decision instead. Jim Dougherty stated that he would combine the 5 ordinances into 1 and bring that back to council for their approval.

#### **Accepting public infrastructure known as the Orchard View Regional detention facility**

**16-227** Motion by Riva, seconded by Livingston to approve Resolution 1006-16-118 accepting improvements known as the Orchard View Regional detention facility, passed unanimously, RC.

### **Wakonda reseeding**

Jeff Schug of McClure Engineering has contacted Killen Construction to remove the dirt along Wakonda Drive, they came back with a proposal of 44,952.

Tim got a proposal from Pezetti to do the reseeding. Schug asked the council if the 84,458 remaining in the budget could be used to finish Wakonda. Riva asked about the reseeding, Schug stated that the bad dirt would be removed good black dirt would be put in and then Pezetti will do the hydro seed. Livingston asked if soil and seeding was included in pay estimate 9, Schug said yes the seeding was in 9 but was backed out the soil most likely was paid for incrementally on different pay estimates. Lester asked if residents had been asked if they wanted the reseeding done and if the city was paying for what actually is replaced. Schug said yes the city would just pay for what was actually replaced.

Isley asked when the reseeding would be done, Hoskins stated that because of scheduling conflicts the contractor would not be able to start working until 3 weeks from today, long range forecasts indicate a killing frost the second week of November, and recommended that the work be done in the spring. Isley asked about the dirt, Schug suggested that be done in the spring also. Isley asked if the prices from the contractors would still be good, Schug replied that he will double check and verify. Council consensus was to wait until spring to do the reseeding of Wakonda Drive and asked staff to continue to communicate and notify the residents.

### **Consideration of resolution approving asphalt overlay on Woodmayr Drive Woodmayr Circle north of Lakewood Drive.**

The operation will consist of mill to transition and promote drainage, clean tack with emulsion pre level sunken areas and resurface with a 1.5" average depth hot mix asphalt surface course. Hoskins anticipates the work being done by October 14<sup>th</sup>.

**16-228** Motion by Kuhl, seconded by Isley to approve Resolution 1006-16-119 approving an asphalt overlay on Woodmayr Drive and Woodmayr Circle north of Lakewood Drive, passed unanimously, RC.

### **Staff reports and council inquiries**

Jean reported that the auditors had given a good report. There will be budget analysis coming to the council soon.

Nancy reported that soccer season is finishing up.

Greg updated the council on the pink patch project, the money goes to the John Stoddard foundation.

Ryan reported that the week of October 10<sup>th</sup> is fire prevention week, Pizza Hut will be delivering pizzas again to residents and checking their smoke detectors, the fire station is having an open house Wednesday, October 12<sup>th</sup>. The fire department will also be hosting a chili supper on election night.

Tim reported that the 50<sup>th</sup> street bridge repair work was underway as well as the West North trail project.

Tony Belizzi reported that the Orchard View townhome project has started.

Luke Parris reported that there would be public hearings soon on the future land use subarea 1 plan and that there are 2 site plans for Market Place.

Mayor reminded everyone of community chat, only 2 council members would need to attend the city school meeting, Jaki and Erika volunteered.

16-229 Motion by Isley, seconded by Kuhl to adjourn the meeting at 7:12 p.m.,  
carried unanimously by voice vote.

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Tom Phillips, Mayor

Attest:

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Jodi Eddleman, City Clerk



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 06  
For Meeting of 10/20/2016

**Item Title:** Consent Agenda  
**Contact Person:** Jodi Eddleman, City Clerk

**Expenditures**

This item is on the agenda for the approval of payment per the attached claims list.

**Tax abatements**

The following tax abatement applications were submitted for approval:

Hubbell Homes	312 W High Road	SFR	310,000.00
Hubbell Homes	705 Aussie Dr	SFR	294,000.00
Hubbell Homes	726 Aussie Dr	SFR	200,000.00
Hubbell Homes	723 Aussie Dr	SFR	260,000.00
Hubbell Homes	724 Aussie Dr	SFR	222,000.00
Hubbell Homes	2017 Wethersfield Dr	SFR	380,000.00
Hubbell Homes	318 W High Rd	SFR	332,000.00
Hubbell Homes	721 Aussie Dr	SFR	260,000.00
Orton Homes	1325 Green Hills Dr	SFR	191,892.00
Steve Mavro	9444 Bottlebrush Rd	SFR	400,000.00
Happe Homes	203 Braeburn	SFR	290,000.00
Groundbreaker Homes	423 Sycamore	SFR	311,903.00
Greenland Homes	619 Bradford Dr	SFR	212,507.00
Greenland Homes	613 Bradford Dr	SFR	207,649.00
Greenland Homes	601 Bradford Dr	SFR	236,025.00
Greenland Homes	607 Bradford Dr	SFR	194,934.00

**Other items**

- Resolution setting public hearing date for the GO Bonds
- Resolution setting public hearing date on designation of the expanded Norwalk Urban Renewal Area and on Urban Renewal Plan Amendment.
- Resolution authorizing consent of bond counsel given relationships with underwriters.
- Resolution authorizing settlement of potential litigation with Mike Pettit related to employment termination.
- Consideration and approval of appointment to the Utility Advisory Commission – Newton Standridge and Dan Merriman
- Receive and file monthly reports

**Staff Recommendation:** Approve consent agenda on a roll call vote.

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT			
POLICE OPERATIONS	GENERAL FUND	CARPENTER UNIFORM	UNIFORM ALLOW IREDALE	287.79			
			UNIFORM ALLOW CROAT	24.99			
			UNIFORM ALLOW STAPLES	16.00			
			UNIFORM ALLOW DUNLOP	115.98			
			UNIFORM ALLOW HUTCHINSON	131.97			
			UNIFORM ALLOW PALMER	36.30			
			UNIFORM ALLOW ALBERS	23.97			
			UNIFORM ALLOW WESTVOLD	131.98			
			UNIFORM ALLOW SPURR	16.00			
			UNIFORM ALLOW LEWISTON	16.00			
			UNIFORM ALLOW CRISWELL	51.99			
			UNIFORM ALLOW ALBERS	20.00			
			UNIFORM ALLOW MARTIN	16.00			
			UNIFORM ALLOW DOWNING	8.00			
			UNIFORM ALLOW HUTCHINSON	6.00			
			UNIFORM ALLOW MARTIN	34.98			
			HARVEY'S AUTOMOTIVE &	OIL FILTER	26.12		
				OIL FILTER	13.06		
				P-130	184.62		
				P-131	28.48		
			KELTEK INCORPORATED	P-125 SWITCH	276.13		
				LASER RESOURCES	PUBLIC SAFETY	136.97	
			EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	1,211.24		
			CAPPEL'S ACE HARDWARE	SWITCH	6.49		
			THE EMBLEM AUTHORITY	SHOULDER PATCHES	300.90		
						TOTAL:	3,121.96
			FIRE PROTECTION	GENERAL FUND	POLK COUNTY FIRE CHIEFS ASSOCIATION	2016 DUES	25.00
						NORWALK HARDWARE & AUTO	MISC SUPPLIES
BATTERIES PLUS	SUPPLIES	181.44					
ALEX AIR APPARATUS	EQUIPMENT	343.00					
LASER RESOURCES	FIRE	135.07					
CAPPEL'S ACE HARDWARE	BATTERIES	31.98					
	TRASH CAN	25.99					
LFN PROPERTIES	RENTAL INSPECTION REFUND	75.00					
MIDWEST RENTAL	RENTAL INSPECTION REFUND	100.00					
						TOTAL:	949.45
RESCUE	GENERAL FUND	HARVEY'S AUTOMOTIVE &	DIESEL FLUID	24.98			
			OIL	117.71			
			BOUND TREE MEDICAL, LLC	MEDICAL SUPPLIES	1,230.58		
				MEDICAL SUPPLES	30.00		
			EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	1,211.24		
			TOTAL:	2,614.51			
PUBLIC SAFETY	GENERAL FUND	IOWA DEPARTMENT OF PUBLIC SAFETY	IOWA SYSTEM	1,020.00			
			CITY OF WEST DES MOINES	JULY-OCT WESTCOM	70,005.28		
						TOTAL:	71,025.28
OTHER PUBLIC WORKS	GENERAL FUND	LASER RESOURCES	PUBLIC WORKS	5.58			
			TOTAL:	5.58			
LIBRARY SERVICES	GENERAL FUND	LASER RESOURCES	LIBRARY	169.97			
			EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	500.00		
			CAPPEL'S ACE HARDWARE	HOOKS	12.28		
						TOTAL:	682.25

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT	
PARKS	GENERAL FUND	NORWALK HARDWARE & AUTO	MISC SUPPLIES	81.53	
		CNM OUTDOOR EQUIPMENT	XMARK MOWER	124.61	
			XMARK MOWER	28.75	
		ANKENY SANITATION	TRASH SERVICE	54.08	
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	500.00	
		CAPPEL'S ACE HARDWARE	SIGN FASTENERS	14.19	
			NUTS AND BOLTS	<u>20.30</u>	
	TOTAL:		823.46		
RECREATION	GENERAL FUND	GOPHER SPORT	SOCCER SUPPLIES	1,465.36	
			FOOTBALL SUPPLIES	257.16	
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	500.00	
		ANA EAGAN	VOLLEYBALL	200.00	
		LUCAS WHITE	VOLLEYBALL	160.00	
		SANDRA ROBBINS	PROGRAM REFUND	<u>10.00</u>	
			TOTAL:		2,592.52
SPORTS COMPLEX	GENERAL FUND	DES MOINES IRON	TOILET REPAIRS	203.99	
		HARVEY'S AUTOMOTIVE &	FERRIS MOWER	17.18	
			FERRIS MOWER	39.65	
			JAC DRAG	29.46	
		CONTRACT SPECIALTY LC	SUPPLIES	580.00	
			FERTILIZER	2,156.00	
		THE CUTTING EDGE	AERIFY BALL FIELDS	3,600.00	
		A+ LAWN AND LANDSCAPE	WINTERIZE IRRIGATION	1,280.00	
		BEST PORTABLE TOILETS	SPORTS COMPLEX	140.00	
		CAPPEL'S ACE HARDWARE	TOILET REPAIR	59.77	
			COMPLEX RESTROOM	<u>3.49</u>	
	TOTAL:		8,109.54		
SWIMMING POOL	GENERAL FUND	HAWKINS, INC.	CHEMICALS	<u>198.00</u>	
			TOTAL:	198.00	
COMMUNITY DEVELOPMENT	GENERAL FUND	VEENSTRA & KIMM INC.	CORT LANDING	693.80	
			BLOOMING HEIGHTS	1,171.40	
		OPTOMETRIC ASSOC INDIANOLA	VISION BENEFIT WAGONER	200.00	
		LASER RESOURCES	DEVELOPMENT	<u>174.29</u>	
	TOTAL:		2,239.49		
CITY HALL & GENERAL BU	GENERAL FUND	INDOFF INC	FLASH DRIVES	359.00	
		MENARDS	HARDWARE FOR DESK	25.92	
		NORTH WARREN TOWN & COUNTY NEWS	ORD 16-13	6.70	
			ORD 16-14	6.70	
			MINUTES	107.25	
			NOTICE OF ASSESSMENT	65.00	
			NOTICE OF ASSESSMENT	60.00	
		TERMINIX INTERNATIONAL	PEST CONTROL	70.00	
		MEDIACOM	INTERNET SERVICE	162.90	
		DES MOINES REGISTER	DAILY PAPER	32.53	
		LASER RESOURCES	CITY HALL	146.29	
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	1,000.00	
		CAPPEL'S ACE HARDWARE	DESK REPAIR	31.49	
			CABLE	7.99	
		JAMIE LOFFREDO	MILEAGE TO TRAINING REIMBU	<u>21.92</u>	
			TOTAL:		2,103.69

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
INFORMATION SYSTEMS	GENERAL FUND	STRATEGIC AMERICA	WEBSITE SERVICES	<u>1,977.99</u>
			TOTAL:	1,977.99
STREETS	ROAD USE TAX FUND	FREEDOM TIRE & AUTO CENTER	#35 PICK UP	657.28
		DOWNNEY TIRE	REPAIR	1,289.92
		DES MOINES IRON	SAW BLADES	139.69
			MATERIALS FOR CLAW	275.07
		HARVEY'S AUTOMOTIVE &	AIRCOMPRESSOR	4.19
			#41 DUMP TRUCK	113.61
			CLEANER	8.10
			#41 DUMP TRUCK	18.15
			SHOP TOWEL	59.70
			#33	115.99
			SHOP FLUIDS	57.97
		MENARDS	TARP	82.97
		NORWALK HARDWARE & AUTO	MISC SUPPLIES	10.12
			MISC SUPPLIES	31.97
			MISC SUPPLIES	96.64
		NORWALK READY-MIXED CONCRETE, INC.	CASADY & NORWOOD	212.50
			PONDEROSA	1,890.00
			9124 PONDEROSA	1,512.00
			NORTH AV	384.00
			PONDEROSA AND NORTH	864.00
			PONDEROSA	810.00
			NORWOOD & CASADY	384.00
			LINDEN	972.00
			CASADY & NORWOOD	378.00
		ZIEGLER INC.	PARTS	351.93
		CNM OUTDOOR EQUIPMENT	CONCRETE SAW	42.48
		CONSTRUCTION & AGGREGATE	AIR COMPRESSOR	46.64
		ACME TOOLS	TOOLS	73.96
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	500.00
		ACCURATE HYDRAULICS & MACHINE SERVICES	CAT MOTOR GRADER	45.00
		CAPEL'S ACE HARDWARE	PW ROOF	6.08
		PINGEL MUDJACKING, LC	PONDEROSA	<u>2,750.00</u>
			TOTAL:	14,183.96
SNOW AND ICE CONTROL	ROAD USE TAX FUND	CENTRAL SALT	BULK SALT	<u>30,211.81</u>
			TOTAL:	30,211.81
STREET CLEANING	ROAD USE TAX FUND	MENARDS	SUPPLIES	<u>115.87</u>
			TOTAL:	115.87
POLICE OPERATIONS	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>22.94</u>
			TOTAL:	22.94
RESCUE	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>3.90</u>
			TOTAL:	3.90
BUILDING INSPECTOR	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>11.54</u>
			TOTAL:	11.54
STREETS	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>67.91</u>
			TOTAL:	67.91
GARBAGE	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	4.91

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
			TOTAL:	<u>4.91</u>
OTHER PUBLIC WORKS	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>0.72</u>
			TOTAL:	<u>0.72</u>
LIBRARY SERVICES	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>38.08</u>
			TOTAL:	<u>38.08</u>
PARKS	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>9.02</u>
			TOTAL:	<u>9.02</u>
RECREATION	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>15.72</u>
			TOTAL:	<u>15.72</u>
SPORTS COMPLEX	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>24.07</u>
			TOTAL:	<u>24.07</u>
SWIMMING POOL	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>43.85</u>
			TOTAL:	<u>43.85</u>
COMMUNITY DEVELOPMENT	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>0.80</u>
			TOTAL:	<u>0.80</u>
EXECUTIVE AND ADMINIST	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>3.30</u>
			TOTAL:	<u>3.30</u>
FINANCIAL ADMINSTRATIO	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>2.57</u>
			TOTAL:	<u>2.57</u>
CITY HALL & GENERAL BU	SPECIAL REVENUE	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>9.56</u>
			TOTAL:	<u>9.56</u>
ECONOMIC DEVELOPMENT	ECONOMIC DEVELOPME	IOWA LIVING MAGAZINE	2 PAGES NORWALK LIVING	<u>1,050.00</u>
			TOTAL:	<u>1,050.00</u>
PARKS	T & A PARK TRUST	DOG ON IT PARKS	FOUNTAIN	1,728.00
			BAG DISPENSER	<u>330.00</u>
			TOTAL:	<u>2,058.00</u>
PARKS & TRAILS CAPITAL	CONST FUND PARKS &	ST JOHN THE APOSTLE CATHOLIC CHURCH	W NORTH AV TRAIL EASEMENT	<u>1,000.00</u>
			TOTAL:	<u>1,000.00</u>
INVALID DEPARTMENT	CIP - POOL	WATERS EDGE AQUATIC DESIGN	ENG/DESIGN POOL PROJECT	<u>39,000.00</u>
			TOTAL:	<u>39,000.00</u>
INFRASTRUCTURE	COMM IINFRASTRUCT/	SHIVE HATTERY INC	CEDAR ST ENGINEERING	1,617.50
		MCANINCH CORPORATION	CEDAR ST EXTENTION PROJECT	<u>21,125.77</u>
			TOTAL:	<u>22,743.27</u>
COMMUNITY DEVELOPMENT	STORM WATER DETENT	DCI GROUP	BEARDSLEY PROJECT MGMT	<u>5,701.00</u>
			TOTAL:	<u>5,701.00</u>
STREETS	50TH STREET BRIDGE	IOWA BRIDGE AND CULVERT	50TH AV BRIDGE	<u>5,063.40</u>
			TOTAL:	<u>5,063.40</u>
OPERATION AND MAINTENE	WATER FUND	FREEDOM TIRE & AUTO CENTER	#27 WATER	282.80

DEPARTMENT	FUND	VENDOR NAME	DESCRIPTION	AMOUNT
		HARVEY'S AUTOMOTIVE &	#27 WATER	103.28
		NORWALK HARDWARE & AUTO	MISC SUPPLIES	1.99
		IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	11.50
		USA BLUE BOOK	SUPPLIES	243.22
		GREGG YOUNG	#27 WATER	117.54
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	500.00
		CAPPEL'S ACE HARDWARE	HYDRANT PAINT	<u>39.98</u>
			TOTAL:	1,300.31
ADMINISTRATION	WATER FUND	NORWALK POSTMASTER	OCTOBER BILLS	670.62
		IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>8.06</u>
			TOTAL:	678.68
OPERATION AND MAINTENA	SEWER FUND	BEDWELL GARDENS	WELL IMPROVEMENTS	2,500.00
		IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	21.07
		CUMMINS CENTRAL POWER LLC	BEARDSLEY LIFT	647.30
		EXPENSE REDUCTION SERVICES	FINAL PAYMENT FOR SERVICES	<u>500.00</u>
			TOTAL:	3,668.37
ADMINISTRATION	SEWER FUND	NORWALK POSTMASTER	OCTOBER BILLS	670.61
		IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>8.06</u>
			TOTAL:	678.67
STORM SEWERS (DRAINAGE	STORM WATER UTILIT	IOWA WORKFORCE DEVELOPMENT	3RD QUARTER UNEMPLOYMENT	<u>14.64</u>
			TOTAL:	14.64

===== FUND TOTALS =====

001	GENERAL FUND	96,443.72
110	ROAD USE TAX FUND	44,511.64
112	SPECIAL REVENUE	258.89
160	ECONOMIC DEVELOPMENT	1,050.00
184	T & A PARK TRUST	2,058.00
325	CONST FUND PARKS & TRAILS	1,000.00
340	CIP - POOL	39,000.00
360	COMM IINFRASTRUCT/IMPROVE	22,743.27
420	STORM WATER DETENTION PRO	5,701.00
435	50TH STREET BRIDGE PROJEC	5,063.40
600	WATER FUND	1,978.99
610	SEWER FUND	4,347.04
740	STORM WATER UTILITY	14.64
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	GRAND TOTAL:	224,170.59
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**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item: 6 c  
For Meeting of 10.20.2016

**ITEM TITLE:** Set Public Hearing to Issue General Obligation Bonds Not to Exceed \$7.2 Million

**CONTACT PERSON:** Jean Furler, Finance Director

**SUMMARY EXPLANATION:** The General Obligation Bonds, Series 2017 includes financing of the projects as approved by the council. Phase 2 of Lakewood is not scheduled until FY18 and therefore could be delayed or removed (\$900,000) however another G.O. Bond would have to be issued next year or in 2018. It is placed in the city's debt schedule (tax asking) beginning FY18 as an interest payment would be due December 1, 2017. Staff believes economies could be realized by placing phase 2 in this G.O. issue.

At this time the only debt issue scheduled for calendar year 2017 is a water capital improvement project that will be presented to council in the next 3-4 weeks. We are trying to schedule a council work session that will include representatives from the Des Moines Water Works. This would be water revenue bonds and would be separate from a General Obligation Bond. It could also potentially be financed through the Iowa Finance Authority.

		Funding Mechanism	
Lakewood Phase 1&2	2,300,000	G.O. Bond	
Beardsley \$2.2 million	2,100,000	TIF/LOSST	LOSST until increment becomes available
Fire Truck	700,000	G.O. Bond	
Turnberry Street	760,000	TIF/LOSST	LOSST until increment becomes available
Hughes Development	800,000	TIF	
Wakonda Signal	325,000	TIF	
	\$6,985,000		
Bond Issuance Fees	105,000		
	\$7,090,000		

<p><input checked="" type="checkbox"/> Resolution    <input type="checkbox"/> Ordinance    <input type="checkbox"/> Contract    <input type="checkbox"/> Other (Specify) _____</p> <p>Funding Source: _____</p> <p>APPROVED FOR SUBMITTAL _____</p>
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**STAFF RECOMMENDATION:** Approve resolution setting the public hearing date for November 3, 2016 providing for the issuance of \$7,200,000 General Obligation Bonds, Series 2017.

MINUTES TO SET DATE FOR HEARING  
ON PROPOSAL TO ENTER INTO LOAN  
AGREEMENTS

443891-NEW

Norwalk, Iowa

October 20, 2016

The City Council of the City of Norwalk, Iowa, met on October 20, 2016, at \_\_\_\_\_  
o'clock \_\_.m., at the \_\_\_\_\_, Norwalk, Iowa. The Mayor presided and the roll  
was called showing the following members of the City Council present and absent:

Present: \_\_\_\_\_

Absent: \_\_\_\_\_.

Council Member \_\_\_\_\_ introduced the resolution hereinafter next set  
out and moved its adoption, seconded by Council Member \_\_\_\_\_; and after  
due consideration thereof by the City Council, the Mayor put the question upon the adoption of  
the said resolution and the roll being called, the following named Council Members voted:

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_.

Whereupon, the Mayor declared the resolution duly adopted as hereinafter set out.

••••

At the conclusion of the meeting and upon motion and vote, the City Council adjourned.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

RESOLUTION NO. \_\_\_\_\_

Resolution setting the date for a public hearing on proposal to enter into a General Obligation Corporate Purpose Loan Agreement and to borrow money thereunder in a principal amount not to exceed \$7,200,000

WHEREAS, the City of Norwalk (the “City”), in Warren County, State of Iowa, proposes to enter into a General Obligation Corporate Purpose Loan Agreement (the “Loan Agreement”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$7,200,000 for the purpose of paying the costs, to that extent, of constructing street, water system, sanitary sewer system and storm water drainage system improvements, installing street lighting and signalization improvements and acquiring a fire truck for use by the municipal fire department (the “Projects”), and it is now necessary to fix a date of meeting of the City Council at which it is proposed to take action to enter into the Loan Agreement and to give notice thereof as required by such law;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Norwalk, Iowa, as follows:

Section 1. The City Council shall meet on November 3, 2016, at the \_\_\_\_\_, Norwalk, Iowa, at \_\_\_\_\_ o'clock \_\_.m., at which time and place hearings will be held and proceedings will be instituted and action taken to enter into the Loan Agreement described in the preamble hereof.

Section 2. The City Clerk is hereby directed to give notice of the proposed action on the Loan Agreement setting forth the amount and purpose thereof, the time when and place where the said meeting will be held by publication at least once, not less than four (4) and not more than twenty (20) days before the date of said meeting, in a legal newspaper which has a general circulation in the City. The notice shall be in substantially the following form:

NOTICE OF PROPOSED ACTION TO INSTITUTE PROCEEDINGS TO  
ENTER INTO A LOAN AGREEMENT AND TO BORROW MONEY  
THEREUNDER IN A PRINCIPAL AMOUNT NOT TO EXCEED \$7,200,000

(GENERAL OBLIGATION)

The City Council of the City of Norwalk, Iowa, will meet on November 3, 2016, at the \_\_\_\_\_, Norwalk, Iowa, at \_\_\_\_\_ o'clock \_\_\_\_m., for the purpose of instituting proceedings and taking action on a proposal to enter into a General Obligation Corporate Purpose Loan Agreement (the "Loan Agreement") and to borrow money thereunder in a principal amount not to exceed \$7,200,000 for the purpose of paying the costs, to that extent, of constructing street, water system, sanitary sewer system and storm water drainage system improvements, installing street lighting and signalization improvements and acquiring a fire truck for use by the municipal fire department.

The Loan Agreement is proposed to be entered into pursuant to authority contained in Section 384.24A of the Code of Iowa and will constitute a general obligation of the City.

At that time and place, oral or written objections may be filed or made to the proposal to enter into the Loan Agreement. After receiving objections, the City may determine to enter into the Loan Agreement, in which case, the decision will be final unless appealed to the District Court within fifteen (15) days thereafter.

By order of the City Council of the City of Norwalk, Iowa.

Jodi Eddleman  
City Clerk

Section 3. Pursuant to Section 1.150-2 of the Income Tax Regulations (the “Regulations”) of the Internal Revenue Service, the City declares (a) that it intends to undertake the Projects which are reasonably estimated to cost approximately \$7,200,000, (b) that other than (i) expenditures to be paid or reimbursed from sources other than the issuance of bonds, notes or other obligations (the “Bonds”), or (ii) expenditures made not earlier than 60 days prior to the date of this Resolution or a previous intent resolution of the City, or (iii) expenditures amounting to the lesser of \$100,000 or 5% of the proceeds of the Bonds, or (iv) expenditures constituting preliminary expenditures as defined in Section 1.150-2(f)(2) of the Regulations, no expenditures for the Projects have heretofore been made by the City and no expenditures will be made by the City until after the date of this Resolution or a prior intent resolution of the City, and (c) that the City reasonably expects to reimburse the expenditures made for costs of the City out of the proceeds of the Bonds. This declaration is a declaration of official intent adopted pursuant to Section 1.150-2 of the Regulations.

Section 4. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved October 20, 2016.

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Mayor

Attest:

---

City Clerk

**ATTESTATION CERTIFICATE:**

STATE OF IOWA  
COUNTY OF WARREN  
CITY OF NORWALK

SS:

I, the undersigned, City Clerk of the City of Norwalk, do hereby certify that attached hereto is a true and correct copy of the proceedings of the City Council relating to fixing a date for additional action on the City's proposals to enter into a certain General Obligation Corporate Purpose Loan Agreement, as referred to therein.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk

**ORGANIZATION CERTIFICATE:**

STATE OF IOWA  
COUNTY OF WARREN                      SS:  
CITY OF NORWALK

I, the undersigned City Clerk, do hereby certify that the City of Norwalk is organized and operating under the provisions of Title IX of the Code of Iowa and not under any special charter and that the City is operating under the Mayor-Council form of government and that there is not pending or threatened any question or litigation whatsoever touching the incorporation of the City, the inclusion of any territory within its limits or the incumbency in office of any of the officials hereinafter named.

And I do further certify that the following named parties are officials of the City as indicated:

- \_\_\_\_\_, Mayor
- \_\_\_\_\_, City Manager
- \_\_\_\_\_, City Clerk
- \_\_\_\_\_, Finance Director
- \_\_\_\_\_, Council Member/Mayor Pro Tem
- \_\_\_\_\_, Council Member
- \_\_\_\_\_, Council Member
- \_\_\_\_\_, Council Member
- \_\_\_\_\_, Council Member

WITNESS MY HAND this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk

**PUBLICATION CERTIFICATE:**

STATE OF IOWA  
COUNTY OF WARREN                   SS:  
CITY OF NORWALK

I, the undersigned, City Clerk of the City of Norwalk, do hereby certify that pursuant to the resolution of the City Council fixing a date of meeting at which it is proposed to take action to enter into a certain loan agreement, the notice, of which the printed slip attached to the publisher's affidavit hereto attached is a true and complete copy, was published on the date and in the newspaper specified in such affidavit, which newspaper has a general circulation in the City.

WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk

**(Attach here the publisher's original affidavit with a clipping of the notice, as published.)**

**(PLEASE NOTE: Do not date and return this certificate until you have received the publisher's affidavit and have verified that the notice was published on the date indicated in the affidavit, but please return all other completed pages to us as soon as they are available.)**

October 13, 2016

**Via Email**

Jodi Eddleman  
City Clerk/City Hall  
Norwalk, Iowa

Re: General Obligation Corporate Purpose Loan Agreement  
Our File No. 443891-NEW

Dear Jodi:

We have prepared and attach proceedings for the October 20<sup>th</sup> City Council meeting to enable the Council to fix November 3<sup>rd</sup> as the date for the hearing on the proposal to enter into a General Obligation Corporate Purpose Loan Agreement.

The documents attached include the following items:

1. Resolution fixing the date, time and place of the meeting at which time it is proposed to hold a hearing and take action to enter into the Loan Agreement. The form of notice of hearing is set out in Section 2 of the resolution. Please print an extra copy for delivery to the publisher. Please insert the time and place of the hearing in both the resolution and the notice.
2. Attestation Certificate with respect to the validity of the transcript.
3. Organization Certificate.
4. Publication Certificate with respect to publication of the notice, to which must be attached the publisher's affidavit of publication with a clipping of the notice as published.

The notice of hearing on the Loan Agreement must be published at least once, not less than four (4) and not more than twenty (20) days before the November 3<sup>rd</sup> meeting date in a legal newspaper which has a general circulation in Norwalk. The last date on which this notice can be effectively published is October 30, 2016.

As soon as the notices appear in the newspaper, please have a copies faxed to our office at (515) 283-1060.

Please return one fully executed copy of all of the completed pages in these proceedings as soon as possible.

Page 2

If you have any questions, please contact Emily Hammond or me.

Best regards,

John P. Danos

Attachments

cc: Jean Furler  
Luke Nelson  
Susanne Gerlach  
Chip Schultz  
Diana VanVleet



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 6d  
For Meeting of 10.20.2016

**ITEM TITLE:** Engagement Letter, Dorsey & Whitney-2017 Series GO Bonds

**CONTACT PERSON:** Jean Furler, Finance Director

**SUMMARY EXPLANATION:** The attached agreement outlines Dorsey and Whitney's services to be provided to the city for the 2017 Series General Obligation Bonds.

John Danos appropriately outlines the services to be provided as well as discloses information related to his firm's relationship to UMB.

These expenses are included in the overall issuance amount as well as underwriting, financial advising, CPA review and any other bond fees.

<p>___ Resolution ___ Ordinance ___ Contract <u> X </u> Other (Specify) _____</p> <p>Funding Source: _____</p> <p>APPROVED FOR SUBMITTAL _____</p>
--

**STAFF RECOMMENDATION:** Approve Agreement with Dorsey & Whitney, LLP for Bond and Disclosure Counsel Services in the amount of \$25,000.

October 13, 2016

**VIA E-MAIL**

Luke Nelson  
City Manager/City Hall  
Norwalk, IA

Re: Norwalk, Iowa  
2017 General Obligation Corporate Purpose Bonds

Dear Luke:

I am writing to explain our role as Bond Counsel and Disclosure Counsel for the City's proposed General Obligation borrowing in order to finance street, water system, sanitary sewer system and storm water drainage improvements and street lighting and signalization. It is our understanding that the City will issue General Obligation Corporate Purpose Bonds (the "Bonds") in the approximate principal amount of \$7,000,000 into the municipal bond market through a negotiated underwriting with UMB Bank, n.a. (the "Underwriter"). We are also aware that Public Financial Management will serve as municipal financial advisor (the "Financial Advisor") to the City.

As Bond Counsel, it is our responsibility to provide legal representation to the City with respect to the authorization of the issuance of the Bonds. In serving the City as Bond Counsel, we will prepare appropriate resolutions, notices, agreements, filings and certificates, consult with the Underwriter and the Financial Advisor, and undertake such additional duties as we deem necessary to help the City through this transaction. At closing of the issuance of the Bonds, assuming the proper conditions are in place, we will deliver our opinion that (1) the Bonds are valid and binding general obligations of the City, and (2) the interest paid on the Bonds will be excluded from gross income for federal income tax purposes.

We have also been asked to serve as Disclosure Counsel in order to assist with securities regulatory compliance for the offering of the Bonds. As Disclosure Counsel we will review the body of the Official Statement which will be necessary for the sale of the Bonds and consult and advise on related disclosure and continuing disclosure matters. We will perform "due diligence" functions and perform certain other functions as may be necessary to fulfill our responsibilities as Disclosure Counsel. We will not be responsible for the preparation of Appendix A to the Official Statement, but we will coordinate with the Underwriter as the Underwriter prepares that portion of the document. At closing, assuming the proper conditions are in place, we will provide our Disclosure Counsel opinion with respect to the offering of the Bonds.

Page 2

It has come to our attention that our firm from time-to-time represents the Underwriter on certain unrelated legal matters, and the City's position will be technically adverse to the Underwriter as it issues the Bonds. Professional rules require a law firm to obtain client consents before representing one client on a matter which is adverse to another current client, even though the representations are on unrelated subject matters. In asking these consents, we assure you: (1) that we will not use confidential client information in any way to either client's disadvantage, and (2) that we will be able, fully and properly, to represent the City of Norwalk and the Underwriter on their separate matters without our representation of either client being affected by our representation of the other client. The Underwriter has already consented to this representation. By execution of this letter, the City will consent to the representation under these described conditions and consents to our current and future representation of the Underwriter on unrelated matters.

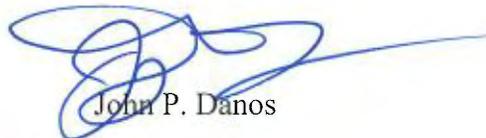
In performing our services as Bond Counsel and Disclosure Counsel, our sole client in this matter will be the City of Norwalk. We will not represent any other party in this financing and it is mutually understood that the services to be provided by us as described herein are solely for the benefit of the City.

Based upon: (i) our current understanding of the terms, structure, size and schedule of the financing, (ii) the duties we will undertake, (iii) the time we anticipate devoting to the project, and (iv) the responsibilities we assume, we estimate that our aggregate fees and expenses for legal services as Bond Counsel and Disclosure Counsel will not exceed \$25,000.

After this arrangement is approved on behalf of the City, please have this letter executed in the space below and either scan and email an executed copy of this letter to [lemke.susan@dorsey.com](mailto:lemke.susan@dorsey.com) or fax an executed copy to our office at (515) 283-1060. If you have questions, please call me.

We look forward to working with you. Thank you for the opportunity to serve the City.

Best regards,



John P. Danos

JPD/sl

Page 3

I understand and agree to the arrangements stated above.

**CITY OF NORWALK, IOWA**

**BY:** \_\_\_\_\_  
                    **Mayor**

**Date:** \_\_\_\_\_

**ATTEST:** \_\_\_\_\_  
                    **City Manager**

**Date:** \_\_\_\_\_

**RESOLUTION NO**

**RESOLUTION AUTHORIZING CONSENT OF BOND COUNSEL  
GIVEN RELATIONSHIPS WITH UNDERWRITERS**

WHEREAS, the city of Norwalk desires to retain the services of Dorsey & Whitney LLP as bond counsel; and,

WHEREAS, professional rules require a law firm to obtain client consent before representing one client on a matter which is adverse to another current client, even if the representations are on unrelated subject matter; and,

WHEREAS, Dorsey & Whitney LLP from time-to-time represents the Underwriter on certain unrelated matters as it issues Bonds; and,

WHEREAS, Dorsey & Whitney LLP has provided assurance that they will not use confidential client information in any way to either client's disadvantage; and,

WHEREAS, Dorsey & Whitney LLP has provided assurance that they will be able, fully and properly, to represent the city of Norwalk and the Underwriter on their separate matters without their representation of either client being affected by their representation of the other client.

**NOW, THEREFORE, BE IT RESOLVED by the City Council of the city of Norwalk, Iowa, that**

**Section 1:** The Mayor is hereby authorized to execute such documents that provide consent of representation.

Passed and approved this 20<sup>th</sup> day of October, 2016.

---

Tom Phillips, Mayor

---

**ATTEST:**  
Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	<b>Aye</b>	<b>Nay</b>	<b>Abstain</b>	<b>Absent</b>
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

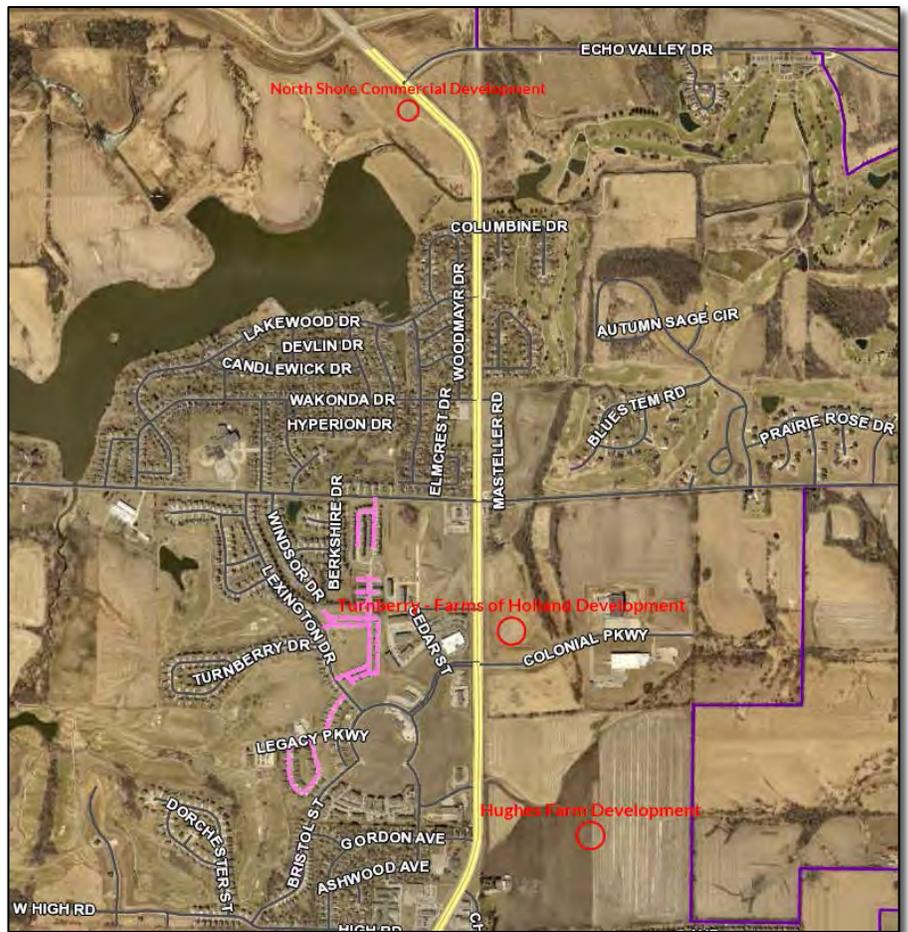
Item No. 6e  
For Meeting of 10.20.2016

ITEM TITLE: Urban Renewal Area Amendment  
CONTACT PERSON: Luke Nelson

**SUMMARY EXPLANATION & HISTORY:**

The City has engaged three different developers regarding three distinct projects for commercial development. The Economic Development Committee has been a party to several considerations of incentives. As the City finalizes the draft development agreements we will begin the Urban Renewal Amendment process. This process provides the City with the legal ability to enter into agreements with the developers.

An amendment to the Plan will be prepared which (1) covers the addition of the Property to the Urban Renewal Area; and (2) authorizes the undertaking of new urban renewal projects in the Urban Renewal Area consisting of (i) providing tax increment financing support to the **North Shore** Commercial Development Project, including the corresponding construction of public infrastructure; (ii) providing tax increment financing support to the **Turnberry Drive** Commercial Development Project, including the corresponding construction of public infrastructure; and (iii) providing tax increment financing support to the **Hughes Farm** Commercial Development Project, including the corresponding construction of public infrastructure.



**FUNDING:**

The draft agreement for **Turnberry** is proposed as a grant for the installation of infrastructure improvements. This project is currently estimated at \$1M. The grant will be financed with TIF and paid through collection of property taxes.

The draft agreement for the **North Shore** is anticipated to be a TIF rebate paid through ongoing rebates from new development within the area. The draft agreement will have a maximum rebate established. That maximum amount has not yet been formalized.

The **Hughes Farm** development is being discussed as a TIF rebate with a grant. The terms of this agreement are still in the early stages of negotiations.

**ALTERNATIVES:**

1. Proceed with actions as noted by Bond Counsel. This will include an upcoming consultation with affected taxing entities within the area (Warren County and Norwalk School) as well as public hearings.
2. Take no action at this time.

**RECOMMENDATION:**

Staff will continue to work with developers and the Economic Development Committee to review draft agreements. Council will have an opportunity to review the details of each development agreement prior to approval. Moving forward with the Urban Renewal Area does not finalize draft development agreements. That is a separate action by Council. **Staff recommends Alternative 1.**

SET DATE FOR HEARING ON  
EXPANDED URBAN RENEWAL AREA  
DESIGNATION AND URBAN  
RENEWAL PLAN AMENDMENT

443891-48

Norwalk, Iowa

October 20, 2016

The City Council of the City of Norwalk, Iowa, met on October 20, 2016, at \_\_\_\_\_ o'clock, \_\_\_\_m., at the \_\_\_\_\_, in the City, for the purpose of setting a date for a public hearing on the designation of an expanded urban renewal area and on a proposed urban renewal plan amendment. The Mayor presided and the roll being called, the following members of the Council were present and absent:

Present: \_\_\_\_\_

Absent: \_\_\_\_\_.

The Mayor announced that an amendment to the boundaries of the Norwalk Urban Renewal Area had been prepared, along with an amendment to the urban renewal plan for the area, and that it was now necessary to set a date for a public hearing on the proposed amended area and proposed amendment to the urban renewal plan. Accordingly, Council Member \_\_\_\_\_ moved the adoption of the following resolution entitled "Resolution Setting Date for a Public Hearing on Designation of the Expanded Norwalk Urban Renewal Area and on Urban Renewal Plan Amendment," and the motion was seconded by Council Member \_\_\_\_\_. Following due consideration, the Mayor put the question on the motion and the roll being called, the following named Council Members voted:

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_.

Whereupon, the Mayor declared the resolution duly adopted as follows:

RESOLUTION NO. \_\_\_\_\_

Resolution setting date for public hearing on designation of the expanded Norwalk Urban Renewal Area and on urban renewal plan amendment

WHEREAS, this City Council of the City of Norwalk, Iowa (the “City”) by resolution previously established the Norwalk Urban Renewal Area (the “Urban Renewal Area”) and adopted an urban renewal plan (the “Plan”) for the governance of projects and initiatives therein; and

WHEREAS, a proposal has been made which shows the desirability of expanding the Urban Renewal Area to add and include all the property (the “Property”) lying within the legal description set out in Exhibit A; and

WHEREAS, this City Council is desirous of obtaining as much information as possible from the residents of the City before making this decision; and

WHEREAS, an amendment (the “Amendment”) to the Plan has been prepared which (1) covers the addition of the Property to the Urban Renewal Area; and (2) authorizes the undertaking of new urban renewal projects in the Urban Renewal Area consisting of (i) providing tax increment financing support to the North Shore Commercial Development Project, including the corresponding construction of public infrastructure; (ii) providing tax increment financing support to the Turnberry Drive Commercial Development Project, including the corresponding construction of public infrastructure; and (iii) providing tax increment financing support to the Hughes Farm Commercial Development Project, including the corresponding construction of public infrastructure; and

WHEREAS, a portion of the Property meets the definition of “agricultural land” under Section 403.17 of the Code of Iowa and pursuant to said law, a consent agreement (the “Ag Land Consent”) has been prepared for execution by the owners (the “Ag Land Owners”) of the Property; and

WHEREAS, it is now necessary that a date be set for a public hearing on the designation of the expansion of the Urban Renewal Area and on the Amendment;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Norwalk, Iowa, as follows:

Section 1. This City Council will meet at the \_\_\_\_\_, Norwalk, Iowa, on November 17, 2016, at \_\_\_\_\_ o’clock \_\_.m., at which time and place it will hold a public hearing on the designation of the expanded Urban Renewal Area described in the preamble hereof and on the Amendment.

Section 2. The City Clerk shall publish notice of said hearing, the same being in the form attached hereto, which publication shall be made in a legal newspaper of general circulation in Norwalk, which publication shall be not less than four (4) nor more than twenty (20) days before the date set for hearing.

Section 3. Pursuant to Section 403.5 of the Code of Iowa, the City Administrator is hereby designated as the City's representative in connection with the consultation process which is required under that section of the urban renewal law.

Section 4. The proposed Amendment is hereby submitted to the City's Planning and Zoning Commission for review and recommendations, as required by Section 403.5, Code of Iowa.

Section 5. The City Administrator is hereby authorized and directed to present the Ag Land Consent to the Ag Land Owners.

Passed and approved October 20, 2016.

---

Mayor

Attest:

---

City Clerk

NOTICE OF PUBLIC HEARING ON DESIGNATION OF EXPANDED  
NORWALK URBAN RENEWAL AREA AND ON PROPOSED URBAN  
RENEWAL PLAN AMENDMENT

Notice Is Hereby Given: That at \_\_\_\_\_ o'clock \_\_\_\_m., at the \_\_\_\_\_, Norwalk, Iowa, on November 17, 2016, the City Council of the City of Norwalk will hold a public hearing on the question of amending the plan for the Norwalk Urban Renewal Area and designating an expanded Norwalk Urban Renewal Area, pursuant to Chapter 403, Code of Iowa, by adding and including all the property described as follows:

*[Insert Legal Description]*

The proposed amendment to the urban renewal plan brings the property described above under the plan and makes it subject to the provisions of the plan. The amendment includes the authorization of new urban renewal projects consisting of (i) providing tax increment financing support to the North Shore Commercial Development Project, including the corresponding construction of public infrastructure; (ii) providing tax increment financing support to the Turnberry Drive Commercial Development Project, including the corresponding construction of public infrastructure; and (iii) providing tax increment financing support to the Hughes Farm Commercial Development Project, including the corresponding construction of public infrastructure.

At said hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matters of the hearing.

Luke Nelson  
City Administrator

• • • • •

On motion and vote the meeting adjourned.

---

Mayor

Attest:

---

City Clerk

EXHIBIT A  
Legal Description  
Expanded Norwalk Urban Renewal Area  
(2016 Addition)

Certain real property situated in the City of Norwalk, Warren County, State of Iowa more particularly described as follows:

*[Insert Legal Description]*

STATE OF IOWA  
COUNTY OF WARREN  
CITY OF NORWALK

SS:

I, the undersigned, City Clerk of the City of Norwalk do hereby certify that pursuant to the resolution of its City Council fixing a date of public hearing on the question of designating the expanded Norwalk Urban Renewal Area for the City and on a proposed urban renewal plan amendment, the notice, of which the printed slip attached to the publisher's affidavit hereto attached is a true and complete copy, was published on the date and in the newspaper specified in such affidavit, which newspaper has a general circulation in the City, and copies were sent to the county and school district.

WITNESS my hand this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk

**(Attach here publisher's affidavit of publication of notice.)**

**(PLEASE NOTE: This certificate must not be dated until the publication has been made and you have reviewed it to be sure that the notice was published on the date indicated in the attached affidavit.)**

STATE OF IOWA  
COUNTY OF WARREN  
CITY OF NORWALK

SS:

I, the undersigned, City Clerk of the City of Norwalk, do hereby certify that as such I have in my possession or have access to the complete corporate records of the City and of its officers; and that I have carefully compared the transcript hereto attached with those records and that the attached is a true, correct and complete copy of the corporate records relating to the action taken by the City Council preliminary to and in connection with setting a date for public hearing on the question of designating the expanded Norwalk Urban Renewal Area for the City and on an urban renewal plan amendment.

WITNESS my hand this \_\_\_\_ day of \_\_\_\_\_, 2016.

---

City Clerk

October 14, 2016

**VIA EMAIL**

Luke Nelson  
City Administrator/City Hall  
Norwalk, IA

Re: Norwalk Urban Renewal Area (2016 Addition)  
Our File No. 443891-48

Dear Luke:

We have prepared the attached materials which will enable the City Council to act on October 20, 2016 to set November 17, 2016 as the date for a public hearing on the expansion of the Norwalk Urban Renewal Area and on an amendment to the existing urban renewal plan for the Area.

The notice which is included in the attached resolution must be published once, not less than four (4) and not more than twenty (20) days prior to the date selected for the hearing. The last date on which this notice can be effectively published is November 13, 2016. Please print a separate copy of the notice for delivery to the newspaper and email or fax a copy of the published notice to our office. Our fax number is (515) 283-1060.

In addition to publishing the notice of a hearing, a copy of the amendment to the urban renewal plan must be submitted to the Planning and Zoning Commission, and the Commission must provide a written recommendation to the City Council with respect to whether the amendment is in conformance with the City's general or comprehensive plans.

Also, a "consultation session" must be set up with Warren County and the Norwalk Community School District. Please refer to my separate letter attached for further details.

Please return one fully executed set of these proceedings, once all the actions have been taken, and contact Amy Bjork or me if you have any questions.

Best regards,

John P. Danos

Attachments

cc: Jodi Eddleman

October 14, 2016

**VIA EMAIL**

Luke Nelson  
City Clerk/City Hall  
Norwalk, IA

Re: Norwalk Urban Renewal Area Amendment/Consultation Session  
Our File Number: 443891-48

Dear Luke:

The Iowa Urban Renewal Law requires that the City provide information concerning a proposed urban renewal plan amendment to certain other governmental bodies which might be affected by the use of tax increment financing within the amended urban renewal area. Specifically, the City must send a copy of the urban renewal plan amendment and an invitation to attend a meeting to discuss the urban renewal plan amendment to any county and school district whose jurisdiction covers any property to be included within the amended urban renewal area. This consultation must be held at least two weeks before the public hearing on November 17, 2016.

It is our understanding that the property within the City's amended urban renewal area would affect Warren County and the Norwalk Community School District.

Attached is a draft letter which you may use in order to provide notification to these governmental entities of the date, time and place of a meeting at which they may discuss the urban renewal plan amendment. The law does not require that this be a meeting of the City Council, and you may use your discretion about who represents the City at the meeting.

Along with the letter, you should send a copy of the urban renewal plan amendment and a copy of the notice of the public hearing on the urban renewal plan amendment.

Page 2

According to our records, here are the mailing addresses for the individuals who should receive the notification letter and the enclosures:

Board of Supervisors  
c/o Warren County Auditor  
301 N Buxton Street, Suite 101  
Indianola, Iowa 50125

Superintendent  
Norwalk Community School District  
380 Wright Road  
Norwalk, Iowa 50211

Please call Amy Bjork or me if you have questions.

Best regards,

John P. Danos

Attachment

cc: Jodi Eddleman

[City letterhead]

DATE: \_\_\_\_\_

TO: Board of Supervisors, Warren County  
Superintendent, Norwalk Community School District

FROM: City Council  
City of Norwalk, Iowa

RE: Norwalk Urban Renewal Area Amendment

The City of Norwalk is in the process of expanding its Norwalk Urban Renewal Area, and amending the urban renewal plan for the area and, pursuant to Section 403.5 of the Code of Iowa, the City is sending you the enclosed copy of its urban renewal plan amendment and scheduling a meeting at which you will have the opportunity to discuss this amendment.

The meeting to discuss our urban renewal plan amendment has been set for \_\_\_\_\_, 2016, at \_\_\_\_\_ o'clock \_\_.m. at the \_\_\_\_\_ in Norwalk. If you are unable to send a representative to the meeting, we invite your written comments. In addition, Section 403.5 gives your designated representative the right to make written recommendations concerning the urban renewal plan amendment no later than seven days following the date of the meeting.

The City Council will also hold a public hearing on this urban renewal plan amendment at \_\_\_\_\_ o'clock \_\_.m. on November 17, 2016, and a copy of the notice of hearing is enclosed for your information.

Please call our City Clerk at (515) 981-0228, if you have questions.

Enclosure

October 20, 2016

To: City of Norwalk Planning & Zoning Commission

Re: Norwalk Urban Renewal Area /Urban Renewal Plan Amendment

A public hearing will be held by the City Council on November 17, 2016 on a proposed amendment to the urban renewal plan for the Norwalk Urban Renewal Area to add the property legally described in the proposed amendment and to approve a new urban renewal project. I have prepared this memorandum to assist the Commission in performing its role in this process.

Section 403.5 of the Code of Iowa requires that, before they hold a public hearing, the City Council must submit a copy of the proposed plan amendment to the Commission, “for review and recommendations as to its conformity with the general plan for the development” of the City. The statute does not require that the Commission hold a hearing on the proposed plan amendment, nor does it require that the Commission take any action to either approve or reject the proposed plan amendment. It directs that the Commission review the plan amendment and comment to the City Council as to whether the plan amendment conforms to, or is consistent with, the City’s Comprehensive Plan. Please complete your review and submit any comments to the City Council by Noon on November 17, 2016.

Please call me at (515) 283-1000 if you have questions about the statutory process.

Best regards,

John P. Danos

**RESOLUTION NO**

**RESOLUTION AUTHORIZING SETTLEMENT OF POTENTIAL LITIGATION WITH  
MIKE PETTIT RELATED TO EMPLOYMENT TERMINATION**

WHEREAS, to avoid the expense, burden, and uncertainty of continued litigation, the city of Norwalk desires to settle the lawsuit Pettit v. City of Norwalk.

**NOW, THEREFORE, BE IT RESOLVED by the City Council of the city of Norwalk, Iowa, that**

**Section 1:** Legal counsel, Patrick Smith, is hereby authorized to conclude the settlement of the Pettit lawsuit, including, but not limited to, taking all steps necessary to prepare and execute the settlement agreement on the City's behalf.

**Section 2:** The City authorizes disbursement of \$33,000 toward the settlement of the Pettit lawsuit. Any amounts necessary to settle the lawsuit over and above the City's contribution will be paid by the City's insurance carrier.

Passed and approved this 20<sup>th</sup> day of October, 2016.

---

Tom Phillips, Mayor

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ATTEST:  
Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 6g  
For Meeting of 10.20.16

**ITEM TITLE:** Consideration and Approval of Appointment to the Utility Advisory Commission  
**CONTACT PERSON:** Tim Hoskins, Public Works Director

**SUMMARY EXPLANATION & HISTORY:**

The terms of Newton Standridge and Dan Merriman have expired. Both have expressed their desire to continue on the Commission for another term.

**FUNDING:**

There is no cost associated with this action.

**ALTERNATIVES:**

1. Approve the re-appointments of Mr. Standridge and Mr. Merriman.
2. Take no action and direct staff to seek other applicants.
3. Take no action at this time.

**RECOMMENDATION:**

**Staff recommends Alternative 1**

**CITY HALL – Administration  
Clerk / Finance Office  
SEPTEMBER 2016**



### **Water Department**

September 12 - 432 disconnect notices were mailed for bills that were due on the 4th;

September 19 - 198 reminders were emailed for bills that were due on the 4th;

September 26 - 98 phone calls were made for bills that were due on the 4th;

September 27 - 13 accounts were processed for non-payment shut off.

3531 new bills were printed and mailed out September 12th. These were reads collected September 1st, for August consumption, and are due on October 4th.

Throughout September 431 residents used the online payment option, provided through our website, to make payments; 1011 payments were processed by the Utility Billing Clerk using Surepay, the opt in auto-pay with checking or credit card option; and 2250 cash, check and credit card payments from mail, drop box and walk in or call in customers, were manually processed by City Hall staff during the month.

**Utility Advisory Commission** did not meet in September. The UAC meeting agendas and minutes can be viewed on the website at:

<http://www.norwalk.iowa.gov/Departments/UtilityServices.aspx>.

### **City Hall Administration**

One new resident purchased a **Premium Compost it!** cart in September. That makes 155 addresses subscribing to this service year-to-date.

No **parking tickets** were paid at City Hall in September and no citations (written more than 30 days ago) were returned to the Police Department for non-payment processing.

There were 20 **dog licenses** issued during the month of September, 888 year-to-date. Animal Control was called out for 2 unidentified loose dogs this month, 28 year-to-date (both were new to town and not previously registered).

Also at the front counter during September, approximately 35 **new residents** came in to sign up for service and received a detailed explanation of the new resident packet. This information can also be found on our website at:

<http://www.norwalk.iowa.gov/HowDoI/ApplyFor/CityServices>.

September included the usual monitoring of Facebook pages; updates to the City website; and preparation of Norwalk Living and Norwalk Notes publications.

**Media** releases can be viewed at:

<http://www.norwalk.iowa.gov/AboutNorwalk/NewsItems.aspx>.

An update on the re-seeding and restoration of yards on Holly Dr and Wakonda Dr was sent to residents in September. All **NCIS updates** can be viewed on the City's website at:

[www.norwalk.iowa.gov/Departments/PublicWorks/NCISProjects](http://www.norwalk.iowa.gov/Departments/PublicWorks/NCISProjects).

**City Council** held the regular 1st and 3rd Thursday meetings in September and 1 additional business meeting/work session on the 29th. Agendas, packets and minutes for each of these meetings can be viewed on the City website at:

<http://www.norwalk.iowa.gov/YourGovernment/AgendasandMinutes.aspx>.

**Also this month**, the City Clerk and Finance Director attended the Iowa League of Cities Fall Conference on September 15 and 16; and on September 14 the City Clerk joined the Public Works Director for a union negotiation workshop.

The City Manager was busy in September continuing to bring himself up to speed and making great progress attending the following meetings: Workforce Development, United Way Campaign, League of Cities, DOT Traffic Engineering Assistance Program, Capital Crossroads Finance, Norwalk Schools Partnership, Greater Des Moines Partnership, as well as many prospective business meetings and even coffee clatter at McDonalds.

In addition, staff began the process of looking into potentially implementing new financial and utility software that could better meet the needs of our

employees, and customers. Demonstrations and cost analysis are the first steps in the process as well as feasibility to all departments involved.

### **Finance Office**

**Iowa Income Offset** collection efforts continued in September.

The City's bank accounts were **balanced and reconciled** for the current month. Also, Shull and Co. was in house to conduct the FY 2015-16 **audit**.

**NCIS Assessments** were filed with Warren County and notifications were sent to affected property owners. Residents have the option to pay the assessed value in full at City Hall until October 24; after that date, if they opt to make payments it will be handled at the Warren County Treasurer's office.

# **Norwalk Community Development September 2016 Monthly Report**



## **Economic Development:**

The City continues to work with developers in working out development agreements for the North Shore and Farms of Holland (near Elizabeth Holland Park).

Work is currently underway on the Elizabeth Holland Park and ponds. The proposed development agreement for the Farms of Holland will put in place the mechanism to pay for the construction of Turnberry Drive.

The proposed development agreement for the North Shore project will include a road that will open up land to be developed north of Lake Colchester.

In the Marketplace at Echo Valley Development, the construction of Marketplace Drive has been completed and is awaiting acceptance by the City. Potential commercial development along Marketplace Drive is expected to follow quickly.

The City of Norwalk reached out to the Iowa Architectural Foundation to help plan the rehabilitation of the City's old downtown district at the corner of North and Main. However, the project has been put on hold for the time being.

## **Planning and Zoning Commission**

The Planning Commission met on September 12, 2016 and considered the following items:

- Request from United Properties LLC to approve the Final Plat of the Marketplace at Echo Valley
- Request from KBK Investments LLC to approve the Final Plat of Arbor Glynn Plat 3, a replat of Arbor Glynn Plat 2
- Discussion on the Chapters 8-9 of Suburban Nation

## **Code Enforcement**

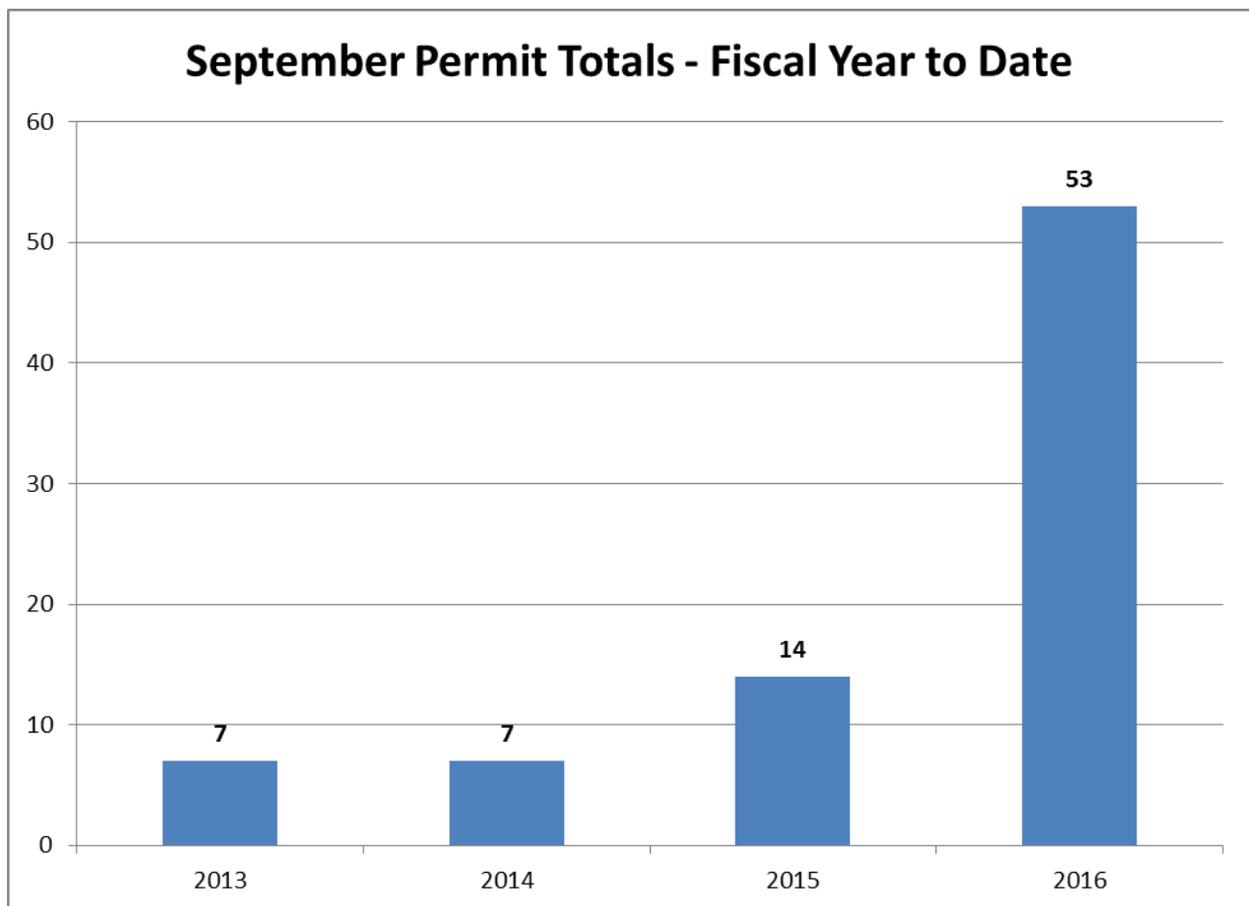
The City continues to await the decision regarding the motorcycle case.

## **Department Staff Updates**

Planning and Economic Development Director Wade Wagoner and Building Inspector Chris Campbell both recently left employment with the City. Wade and Chris both served important roles with the City and their presence will be missed by the Department. Chief Building Official Tony Stravers will be handling all building inspections while working to find a candidate to fill the Building Inspector position. Luke Nelson, City Manager, and Luke Parris, City Planner, will be dividing up Wade's duties in the interim while the City reviews the role of the Planning and Economic Development Director.

## Building Department - Permit Information:

City of Norwalk - September New Construction Building Permits								
BP Issued	Single Family	Value	Townhome	Value	Multi-Family	Value	Commercial	Value
<b>2016</b>								
This month	24	\$ 6,348,503	4	\$ 951,656	0	\$ -	0	\$ -
YTD	116	\$ 30,917,676	11	\$ 2,322,922	0	\$ -	4	\$ 902,721
FYD	53	\$ 14,594,260	4	\$ 951,656	0	\$ -	1	\$ 319,985
<b>2015</b>								
This month	14	\$ 4,254,132	9	\$ 1,756,034	0	\$ -	0	\$ -
YTD	70	\$ 22,034,883	34	\$ 6,913,290	0	\$ -	0	\$ -
FYD	14	\$ 4,254,132	9	\$ 1,756,034	0	\$ -	0	\$ -
<b>2014</b>								
This month	7	\$ 2,221,927	0	\$ -	0	\$ -	0	\$ -
YTD	51	\$ 15,912,740	2	\$ 621,822	2	\$ 6,945,179	1	\$ 4,072,969
FYD	7	\$ 2,221,927	0	\$ -	0	\$ -	0	\$ -
<b>2013</b>								
This month	7	\$ 1,797,654	6	\$ 1,382,415	0	\$ -	0	\$ -
YTD	47	\$ 11,847,613	6	\$ 1,382,415	0	\$ -	1	\$ 1,471,204
FYD	7	\$ 1,797,654	6	\$ 1,382,415	0	\$ -	0	\$ -



Building Permit Revenue Report			
PERMIT TYPE	MONTHLY TOTAL	SEPTEMBER REVENUE	FYD REVENUE
Apartment Building	0	\$ -	\$ -
Commercial Addition	0	\$ -	\$ -
Commercial Building	0	\$ -	\$ 1,713.92
Commercial Remodel	0	\$ -	\$ 4,167.54
Deck	4	\$ 100.00	\$ 361.07
Demolition	0	\$ -	\$ -
Driveway	3	\$ 75.00	\$ 325.00
Electrical	10	\$ 710.00	\$ 3,679.75
Fence	7	\$ 175.00	\$ 600.00
Garage	2	\$ 384.86	\$ 449.24
Misc	1	\$ 50.00	\$ 125.00
Mechanical	2	\$ 115.00	\$ 1,095.00
Plumbing	8	\$ 370.00	\$ 3,057.00
Porch	0	\$ -	\$ 50.00
Pool	0	\$ -	\$ 65.00
Residential (Single Family)	24	\$ 59,300.00	\$ 135,109.64
Residential Addition	0	\$ -	\$ -
Residential Remodel	3	\$ 651.54	\$ 763.33
Shed	0	\$ -	
Sidewalk	0	\$ -	\$ 25.00
Sign	3	\$ 116.30	\$ 367.80
Townhome	4	\$ 9,489.83	\$ 9,489.83
	<b>71</b>	<b>\$ 71,537.53</b>	<b>\$ 161,444.12</b>

FY 15-16 Budget	<b>BALANCE</b>
\$120,000	<b>\$ 41,444.12</b>

Together Tony and Chris averaged over 13 inspections a day during the 21 working days in September.

**September Storm Water/Nuisance Inspections:**

- 12 Nuisance Inspections
- 20 City Project Weekly Storm Water Inspections
- 244 Storm Water Inspections
- 276 Total Inspections for August

**SEPTEMBER BUILDING INSPECTIONS**

Deck	15
Electrical	30
Final	21
Footing	21
Foundation Drain	0
Foundation Wall	13
Framing	29
Mechanical	29
Plumbing	62
Sheer Wall	11
Sidewalk/Approach	30
Tar/Tile/Gravel	13
<b>TOTAL INSPECTIONS</b>	<b>274</b>

With our Building Inspector leaving, Tony Stravers will be working diligently to get all inspections completed, all building permits reviewed and figured in a timely manner, and all questions answered. If anyone has any concerns at all, please don't hesitate to contact him directly.

Building Permits are significantly up this month (especially single family residential), along with building inspections and storm water inspections.

**MEMO**

TO: MAYOR & CITY COUNCIL  
FROM: JEAN FURLER  
RE: BUDGET SUMMARY REPORT-SEPTEMBER 2016  
DATE: October 13, 2016

Attached to the Treasurer’s Report beginning with September 2016 I will attach a budget summary report. This report shows the current budget, current month and year to date actual expenditures and revenues. In addition, it will provide a percent of the budget and remaining amounts. I will provide an explanation of funds that may be out of the reasonable percentage range, i.e. September amounts should generally be at approximately 25% (3 out of 12 months) or need more clarification. The goal is increased financial reporting and greater transparency to the City Council and citizens in terms of the current financial status of the City and its respective governmental and proprietary funds. If you have any suggestions or questions please let me know.

	%	
<b>Fund</b>	<b>Amount</b>	<b>Expenditures Explanation:</b>
300	100.45	GO Bond will be issued/Budget Amendment will be necessary for CIPs
405	107.49	Carry over funds (bond proceeds) from FY16 is being spent in FY17

	%	
<b>Fund</b>	<b>Amount</b>	<b>Revenues Explanation:</b>
110	32.78	Road Use Tax revenues are ahead of budget target
112	4.28	Taxes will be deposited in October
125	4.81	Taxes will be deposited in October
160	0	Transfers to Economic Development are complete in June of each year
183	466.00	Library Contributions are more than projected budget
184	47.72	Dog Park Revenues
200	3.73	Taxes will be deposited in October
300	0	GO Bond yet to be issued
600	38.43	Water revenues ahead of budget target
605	86.51	Utility deposits more than anticipated
610	35.07	Sewer revenues ahead of budget target

September 2016 Treasurer's Report

FUND	Beginning Cash Balance	MTD Revenue	MTD Expenditures	Cash Basis Balance	Net Change Other assets	Net Change Liabilities	Accrual Ending Cash Balance
General	866,180.44	348,965.38	351,352.74	863,793.08		1,334.49	865,127.57
Trust & Agency	38,763.10	0.00	26.26	38,736.84			38,736.84
Road Use Tax	741,734.75	118,939.70	80,959.35	779,715.10		1,018.47	780,733.57
Special Revenue	510,923.10	42,269.92	81,136.17	472,056.85		-1,226.21	470,830.64
T&A Self funding	3,696.82	0.00	0.00	3,696.82			3,696.82
TIF	1,009,725.24	112,589.57	1,000.00	1,121,314.81			1,121,314.81
HIDTA forfeiture	20,288.64	0.00	0.00	20,288.64			20,288.64
Economic Development	(19,434.48)	0.00	7,561.63	-26,996.11		8.43	-26,987.68
T&A Plumbers Bonds	10,395.71	0.00	0.00	10,395.71			10,395.71
T&A Library Trust	22,780.33	323.73	0.00	23,104.06			23,104.06
T&A Park Trust	140,793.31	171.42	13,181.57	127,783.16			127,783.16
Debt Service	(97,949.33)	82,728.47	25,000.00	-40,220.86			-40,220.86
Capital Improvements	1,410,684.16	0.00	151,431.23	1,259,252.93			1,259,252.93
NCIS Infrastructure	373,113.46	0.00	3,900.00	369,213.46			369,213.46
Water Utility	603,898.36	200,994.65	103,279.75	701,613.26		99.83	701,713.09
Water bond/sinking fund	6,443.33	0.00	0.00	6,443.33			6,443.33
Water Reserve	94,628.79	0.00	0.00	94,628.79			94,628.79
Water Improvement	259,976.17	0.00	0.00	259,976.17			259,976.17
Water T&A	237,995.10	6,615.54	1,620.00	242,990.64			242,990.64
Water equipment replacement	60,288.00	0.00	0.00	60,288.00			60,288.00
Sewer Utility	1,198,577.24	198,222.32	250,951.18	1,145,848.38		101.09	1,145,949.47
Sewer bond/sinking fund	-	0.00	0.00	0.00			0.00
Sewer Improvement	165,981.29	0.00	0.00	165,981.29			165,981.29
Sewer Reserve	110,082.12	0.00	0.00	110,082.12			110,082.12
Sewer Surplus	69,978.67	0.00	0.00	69,978.67			69,978.67
Northwest Sewer Trunk	(80,529.18)	0.00	0.00	-80,529.18			-80,529.18
Sewer equipment replacement	90,683.77	0.00	0.00	90,683.77			90,683.77
Storm Water	577,289.65	31,823.24	15,881.94	593,230.95		113.58	593,344.53
Storm water equipment replacement	15,000.00	0.00	0.00	15,000.00			15,000.00
Warren Water Buyout	133,566.75	10.98	0.00	133,577.73			133,577.73
Equipment Revolving	25,593.79	0.00	1,898.00	23,695.79			23,695.79
Outstanding Deposits	8,601,149.10						-3,643.93
Outstanding Checks							309,978.73
Bank Balance							<u>8,963,408.68</u>
ACH CC PAYMENT							90.00
ACH CC P&R PAYMENT							113.75
<b>Ending Cash Balance</b>	<b>8,601,149.10</b>	<b>1,143,654.92</b>	<b>1,089,179.82</b>	<b>8,655,624.20</b>		<b>1,449.68</b>	<b>8,963,612.43</b>
City State Bank	5,043,545.27						
City State Bank MM	3,230,908.44						
City State Dog Park	14,806.65						
City State HIDTA	20,288.64						
City State Local Forfeiture Fund	89.00						
Community State Bank	653,974.43					Finance Director: Jean Furler	
Total Bank Balance	8,963,612.43						

CITY OF NORWALK  
EXPENDITURES SUMMARY  
AS OF: SEPTEMBER 2016

	<u>CURRENT BUDGET</u>	<u>CURRENT PERIOD</u>	<u>YTD ACTUAL</u>	<u>BUDGET BALANCE</u>	<u>% OF BUDGET</u>
001-GENERAL FUND	4,740,600	351,353	1,405,107	3,335,574	29.64%
003-T & A POLICE	7,200	26	126	7,074	1.75%
110-ROAD USE TAX FUND	1,141,200	80,959	296,606	844,594	25.99%
112-SPECIAL REVENUE	1,304,199	81,136	311,895	992,304	23.91%
113-T A SELF FUND DEDUCTI	39,000	0	0	39,000	0.00%
125-TIF	3,440,652	1,000	201,000	3,239,652	5.84%
160-ECONOMIC DEVELOPMENT	127,600	7,562	35,441	92,159	27.77%
183-T & A LIBRARY	10,112	0	0	10,112	0.00%
184-T & A PARK TRUST	64,421	13,182	13,182	51,239	20.46%
200-DEBT SERVICE FUND	2,383,207	25,000	224,200	2,159,007	9.41%
300-CAPITAL IMPROVEMENTS	941,272	151,431	945,550	-4,278	100.45%
405-CIP-NCIS INFRASTRUCTU	172,000	3,900	184,880	-12,880	107.49%
600-WATER FUND	1,575,232	103,280	345,435	1,229,797	21.93%
601-WATER REV BONDS 2000	83,231	0	0	83,231	0.00%
605-T & A WATER DEPOSITS	16,000	1,620	4,090	11,910	25.56%
610-SEWER FUND	1,682,518	250,951	498,798	1,183,720	29.65%
611-SEWER IMPROVEMENT FUN	52,360	0	0	52,360	0.00%
740-STORM WATER UTILITY	375,800	15,882	58,071	317,729	15.45%
810-EQUIPMENT REVOLVING F	80,000	1,898	8,507	71,493	10.63%
<b>TOTAL EXPENDITURES</b>	<b>18,236,604</b>	<b>1,089,180</b>	<b>4,532,887</b>	<b>13,703,798</b>	<b>24.86%</b>

REVENUE SUMMARY  
AS OF: SEPTEMBER 30, 2016

	<u>CURRENT BUDGET</u>	<u>CURRENT PERIOD</u>	<u>YTD ACTUAL</u>	<u>BUDGET BALANCE</u>	<u>% OF BUDGET</u>
001-GENERAL FUND	4,624,087	348,965	757,984	3,866,103	16.39%
003-T & A POLICE	5,000	0	5,665	-665	113.30%
110-ROAD USE TAX FUND	1,156,800	118,940	379,142	777,658	32.78%
112-SPECIAL REVENUE	1,175,583	42,270	50,360	1,125,223	4.28%
113-T A SELF FUND DEDUCTI	39,000	0	0	39,000	0.00%
125-TIF	2,452,485	112,590	118,075	2,334,410	4.81%
160-ECONOMIC DEVELOPMENT	104,700	0	0	104,700	0.00%
183-T & A LIBRARY	500	324	2,333	2,833	466.60%
184-T & A PARK TRUST	8,398	171	4,007	4,391	47.72%
200-DEBT SERVICE FUND	2,473,704	82,728	92,147	2,381,557	3.73%
300-CAPITAL IMPROVEMENTS	1,787,368	0	0	1,787,368	0.00%
405-CIP-NCIS INFRASTRUCTU	1,200,000	0	0	1,200,000	0.00%
600-WATER FUND	1,594,300	200,995	612,741	981,559	38.43%
601-WATER REV BONDS 2000	83,232	0	0	83,232	0.00%
605-T & A WATER DEPOSITS	16,000	6,616	13,842	2,158	86.51%
610-SEWER FUND	1,748,000	198,222	612,969	1,135,031	35.07%
611-SEWER IMPROVEMENT FUN	52,360	0	0	52,360	0.00%
613-SEWER SINKING FUND	52,360	0	0	52,360	0.00%
615-NORTHWEST SEWER TRUNK	75,000	0	0	75,000	0.00%
740-STORM WATER UTILITY	382,350	31,823	95,561	286,789	24.99%
750-WARREN WATER BUYOUT	0	11	31	-31	0.00%
810-EQUIPMENT REVOLVING F	80,000	0	32,203	47,797	40.25%
<b>TOTAL REVENUES</b>	<b>19,111,227</b>	<b>1,143,655</b>	<b>2,772,395</b>	<b>16,338,832</b>	<b>14.51%</b>



## NORWALK EASTER PUBLIC LIBRARY

### Director's Report – October 2016 (FY17)

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#### Monthly Statistics (Used for Annual Report to State Library):

- Library Visitors during previous month: 5,043
  - **Percentage Change: 5% decrease from September 2015**
- Circulation of items during previous month:
  - 6,173 (items within library)
  - 683 (Bridges items)
  - 62 (Zinio items)
  - **6,918 Total**
    - **Percentage Change: 1% increase from September 2015**
- New Accounts during previous month:
  - 55 adult accounts
  - 12 Juvenile accounts
- Community Room Rentals during previous month:
  - 17 Rentals
- Reference Interactions during previous month:
  - 50 @ Circulation Desk
  - 42 @ Youth Services Desk
  - **92 Total**
- Library Volunteers during the previous month:
  - 0 participants
  - 0 number of hours volunteered

- Programming Statistics:

	# of Programs	# of Participants
Children's	17	485
Teen	1	19
Adult	3	21
Adult Outreach	6	36
Technology Help Sessions	2	2
Exam Proctoring	5	5

### Youth Services:

September was a busy month in the youth department as we were getting back into regular programming after our August break! 19 teenagers had a blast trying different Japanese snack foods at our Anime Afternoon movie! Our afterschool crowd for early out Wednesdays built with Legos, made collages, played bingo, and more. Story-times were very well-attended this month, with an average attendance of 35!

We're looking forward to several events in October, including our Pumpkin Party for young children and a Teen Blacklight Party. We've also filled the calendar with outreach story-times at three local preschools, and are busy putting together units of books on different topics for many teachers.

### Adult Services:

Adult Programs for September included 15 participants at the Glass Block Craft Night and 3 participants at the Trending Topics Presentation on Tree Know How. There were 3 people at the monthly adult book club "Novel Night." I attended an Adult Programming meeting in Polk City with central Iowa librarians and helped arrange two displays "History of the Book," and the Warren Co. 4-H display. The last few weeks, I highlighted Banned Books throughout the stacks & endcaps. This next month, we will have two guest speakers – Chaplain Eric Johnson Oct. 25 "The Gift of Choices Made" about end of life decisions, and Rick Dressler from the Iowa Dept of the Blind, on Oct. 17<sup>th</sup> about perceptions of blindness and adapting to vision loss. The public is invited to both events, but I have tied the presentations to a bigger audience (Novel Year Book Club and the Norwalk Woman's

Club). We have both book clubs this month and a craft night “Sip and Paint” for painting wine glasses. I have an outreach program for the Women’s P.E.O. club on Oct. 22<sup>nd</sup> and a display on mysteries, horror and scary books. (Katie helped)

### **Assistant Director:**

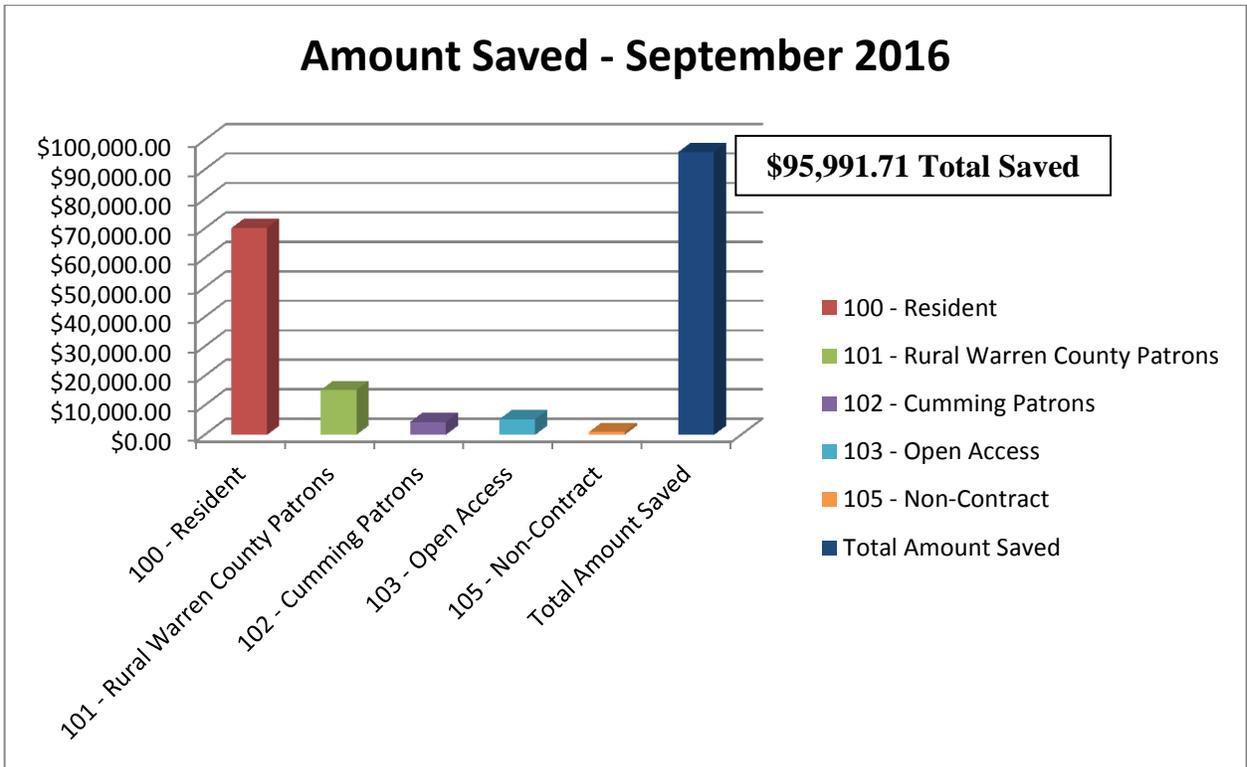
In September I cataloged 134 new items and finalized the juvenile nonfiction weeding project. In October I will be working on adding many more new items including holiday materials. As always, I will be processing purchase requests and material orders. On another note, I am finalizing my continuing education credits to prepare for my recertification as a level VI librarian in the state of Iowa in January 2017. Recertification requires 45 CEUs (director level).

<b>September Stats:</b>	
Total # of Items Added	134
Total # of Items Withdrawn	66

### **General Library Information:**

September was a busy month for Director Sealine. Time was spent working to review outdated policies and procedures; as well as developing a schedule in which to check in regularly with library staff. Director Sealine also worked on updating online resources for the library’s website. The patron machines have also been giving some problems; therefore time was spent working to update them. The machines are not completely fixed, but Director Sealine is confident that she will get it done during October. The annual report from the State Library is still not available, but as soon as it is Director Sealine will be putting it together to give to the Board of Trustees and City Council. Finally, Director Sealine has been able to help a student within Norwalk take multiple, weekly exams as a proctor.

Below is a graph of money that library patrons have saved during the month of September by using Norwalk Easter Public Library for their book/print materials checkout. This does not include the amount patrons have saved by using our online digital resources, programming, facilities, or computer/internet access.



## September 2016 Parks and Recreation Activities

### September Highlights

The majority of September we ran our fall soccer and flag football programs. The continuous fitness programs are staying steady with their numbers. We started the early out art programs along with the adult volleyball league.

### Park Commission Board

The board met on Sept 7 @ 6pm. Four members along with Director met. Two members were sworn in for another term with the parks and rec. Old business discussed: Phase 2 of the pool renovation, Holland Park updates, dog park opening, fall brochure, and Orchard Trail park. New business discussed: Veterans Memorial park suggestion.

### Staff

The staff was busy keeping the complex ready for the tournaments. The part time mowers are still working to keep the parks maintained without additional summer help.

Activities	Team	Participants	
Community Gym		17	
Creative Art		6	
Mad Science 1		26	
Mad Science 2		29	
Line/Ballroom			
Dance	3	6	cxl'd
Fitness: Step		11	
Fitness: EB		15	
Fitness: Cir		9	
Junk in the Trunk		4	cxl'd
5th/6th			
Basketball**	3	27	
PK Dribblers **	3	49	
K Dribblers **	2	40	

Submitted by

Nancy Kuehl, Director



**TO:** HONORABLE MAYOR AND MEMBERS OF COUNCIL  
**FROM:** GREG STAPLES, CHIEF OF POLICE  
**SUBJECT:** MONTHLY REPORT –SEPTEMBER 2016  
**DATE:** OCTOBER 20, 2016  
**CC:** LUKE NELSON, CITY MANAGER

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**Significant Incidents**

- On the 2<sup>nd</sup> a report was made concerning the burglary of a storage unit at the Wright Storage. The suspect entered a unit and removed multiple valuable coins. The suspect was later identified and charged with Theft 1<sup>st</sup> degree, Burglary 3<sup>rd</sup> degree and Possession of a Controlled Substance.
- The Community Impact Officer spent 60 hours investigating 15 incidents, 50 hours on patrol and 30 hours in regional investigators meetings and community policing activities.
- Police calls for service are up **8.8 %** year to date over 2015

**Community Policing / Involvement**

- On the 6<sup>th</sup> Chief Staples attended the Warren County Jail Committee Meeting
- On the 8<sup>th</sup> Assistant Chief Westvold attended the Lakewood Village Association meeting
- On the 8<sup>th</sup> Chief Staples and Fire Chief Coburn rewarded kids with cookies who rode their bikes with a helmet on
- On the 10<sup>th</sup> Chief Staples attended community chat
- On the 14<sup>th</sup> Officer Criswell and Chief Staples produced a distracted driving video
- On the 15<sup>th</sup> Chief Staples attended the monthly Norwalk Ministerial Association meeting
- On the 20<sup>th</sup> Chief Staples attended the Warren County Child Abuse Prevention Council meeting
- On the 22<sup>nd</sup> Chief Staples attended the Chamber breakfast meeting
- On the 28<sup>nd</sup> Sergeant Downing attended the Lakewood Village Association meeting

**Training**

DATE	OFFICER	TRAINING	HOURS
Various	All	Iowa Code Legal Update – On Line Training	1
7 <sup>th</sup>	All	Firearms Qualification	4
27,28,29	Lewiston	Financial Crimes Investigation	24
Various	Spurr, Martin, Westvold	CJIS / NCIC Certification	1

## Statistical Reporting

### Traffic and General Activities

	July	July		Aug	Aug		Sept	Sept		Quarter	Quarter	
	2015	2016	Change	2015	2016	Change	2015	2016	Change	2015	2016	Change
<b>Traffic Related</b>												
Traffic Stops	192	151	-41	171	187	16	104	98	-6	467	436	-31
Moving Violations	51	35	-16	45	27	-18	25	21	-4	121	83	-38
<i>Speeding</i>	34	30	-4	38	24	-14	15	16	1	87	70	-17
<i>Impaired Driving</i>	4	0	-4	5	0	-5	3	1	-2	12	1	-11
Equipment / License Citations	22	12	-10	16	21	5	17	9	-8	55	42	-13
<i>Occupant Protection</i>	5	3	-2	3	6	3	2	0	-2	10	9	-1
Written Warnings	76	83	7	59	105	46	52	41	-11	187	229	42
Crash Investigations	12	5	-7	5	7	2	9	6	-3	26	18	-8
<b>General Activities</b>												
Drug Investigations	3	2	-1	4	1	-3	4	5	1	11	8	-3
Officer Initiated Incidents	3	0	-3	4	1	-3	5	5	0	12	6	-6
Public Service Calls	68	65	-3	88	54	-34	71	59	-12	227	178	-49
Calls For Service	642	512	-130	607	596	-11	658	494	-164	1907	1602	-305

### Criminal Incidents

	July	July		Aug	Aug		Sept	Sept		Quarter	Quarter	
	2015	2016	Change	2015	2016	Change	2015	2016	Change	2015	2016	Change
<b>Crimes Against Person</b>												
Assault Offenses	0	1	1	3	2	-1	2	2	0	5	5	0
Sexual Assault Forcible	0	1	1	0	1	1	1	0	-1	1	2	1
Sexual Assault Non-Forcible	0	0	0	0	0	0	0	0	0	0	0	0
Robbery	0	0	0	0	0	0	2	0	-2	2	0	-2
Homicide	0	0	0	0	0	0	0	0	0	0	0	0
<i>Subtotal</i>	0	2	2	3	3	0	5	2	-3	8	7	-1
<b>Crimes Against Property</b>												
Burglary	2	1	-1	0	2	2	16	1	-15	18	4	-14
Fraud / Forgery / Embezzle	0	1	1	0	2	2	1	2	1	1	5	4
Theft / Larceny	8	8	0	5	7	2	27	4	-23	40	19	-21
Motor Vehicle Theft	1	0	-1	3	0	-3	0	0	0	4	0	-4
Property Damage	12	0	-12	3	2	-1	8	2	-6	23	4	-19
<i>Subtotal</i>	23	10	-13	11	13	2	52	9	-43	86	32	-54
<b>Total</b>	23	12	-11	14	16	2	57	11	-46	94	39	-55

The decrease in property crimes during September is the result of crimes returning to more normal levels in comparison to last September when we experienced numerous burglaries and thefts from unlocked garages and cars

## Clearance Rates

	July				Aug				Sept			
	2016	Cleared	Inactive	Active	2016	Cleared	Inactive	Active	2016	Cleared	Inactive	Active
<b>Crimes Against Person</b>												
Assault Offenses	1		1		2	2			2	2		
Sexual Assault Forcible	1	1			1		1		0			
Sexual Assault Non-Forcible	0				0				0			
Robbery	0				0				0			
Homicide	0				0				0			
<b>Subtotal</b>	<b>2</b>	<b>1</b>	<b>1</b>		<b>3</b>	<b>2</b>	<b>1</b>		<b>2</b>	<b>2</b>		
<b>Crimes Against Property</b>												
Burglary	1		1		2		1	1	1	1		
Fraud / Forgery / Embezzle	1		1		2		2		2		2	
Theft / Larceny	8	2	6		8	3	3	2	4	2	2	
Motor Vehicle Theft	0				0				0			
Property Damage	0				2	1	1		2		1	1
<b>Subtotal</b>	<b>10</b>	<b>2</b>	<b>8</b>		<b>14</b>	<b>4</b>	<b>7</b>	<b>3</b>	<b>9</b>	<b>3</b>	<b>5</b>	<b>1</b>
<b>Total</b>	<b>12</b>	<b>3</b>	<b>9</b>		<b>17</b>	<b>6</b>	<b>8</b>	<b>3</b>	<b>11</b>	<b>5</b>	<b>5</b>	<b>1</b>

### Third Quarter 2014 Clearance Rates Norwalk Police

Crimes Against Person	Total	Cleared	Clear %
Assault Offenses	5	5	100%
Sexual Assault Forcible	2	1	50%
Sexual Assault Non-Forcible	0	0	NA
Robbery	0	0	NA
Homicide	0	0	NA
<b>Subtotal</b>	<b>7</b>	<b>6</b>	<b>86%</b>
<b>Crimes Against Property</b>			
Burglary	4	1	25%
Fraud / Forgery / Embezzle	5	0	0%
Theft / Larceny	20	7	35%
Motor Vehicle Theft	0	0	NA
Property Damage	4	1	25%
<b>Subtotal</b>	<b>33</b>	<b>9</b>	<b>27%</b>
<b>Total</b>	<b>40</b>	<b>14</b>	<b>35%</b>

### 2016 third quarter Clearance Rates VS the National Averages

Type	Crimes Against Persons	Crimes Against Property
National	47%	18%
Cities under 10,000	56%	22%
Midwest	41%	18%
<b>NORWALK</b>	<b>86%</b>	<b>35%</b>

## Out and About With the NPD

Purple Uniform Ribbons in support of NHS football



Waiting for the football game to start

# MEMORANDUM

**TO:** Tom Phillips, Mayor; Norwalk City Council  
**FROM:** Tim Hoskins, Public Works Director  
**DATE:** October 20, 2016  
**RE:** Public Works Activity Report  
**Period:** September 2016

NOTICEABLY NORWALK.

## WATER ACTIVITIES:

- Daily master pit readings
- Installation of new meters
- Responded to 241 Iowa One call utility locates
- Perform chlorine samples as required for IDNR reporting
- Transport bacterial tests to DMWW Lab
- Complete monthly operating report for the IDNR
- Paint fire hydrants

## WASTEWATER ACTIVITIES:

- Perform lift station daily checks and recording
- clean lift station grit baskets-weekly
- Pump & control repairs at Legacy Lift Station

## REQUESTS FOR SERVICE:

DATE	DEPT.	TYPE	COMPLAINT
09/01/2016	PW	Build	Repair tub sink drain
09/01/2016	Holly	Build	Relief valve on boiler is not working
09/06/2016	Martin	Trans	Slow crank, poss. Battery
09/06/2016	Louise	Trans	Ferris Mower, Oil leak, may need tune up
09/06/2016	Louise	Trans	Change Oil and Check vehicle over`
09/07/2016	Dennis	Build	Men's Fire locker room has bulbs out. Ballast?
09/07/2016	Holly	Build	Replaced clock battery up high
09/08/2016	PD	Trans	Headlight replacement both
09/08/2016	Joe	Build	Move Safe from building for new owner
09/08/2016	Joe	Trans	Check price on rear tires and slow leak front right
09/08/2016	PD	trans	Lof, tires, tie rods ends brake pads, FE Align
09/09/2016	PD	Trans	Screw in tire
09/08/2016	Holly	Build	Move quilts and hang clock
09/09/2016	PW	Streets	Check all lights at Beardsley
09/09/2016	FDPD	Build	Correct flag system

09/13/2016	PW	Build	System for stopping eye wash splashing
09/13/2016	PW/PR	Build	Installed new flags
08/29/2016	Nancy	Trans	new motor, Pulley, roller, oil hrs on chassis 2440
09/15/2016	All	Build	All builds, kill wasps, knock down nests
09/14/2016	Tim	Trans	service
09/14/2016	Nancy	Build	New water line in CP with two fountains for dogs
09/15/2016	Nancy	Build	dog park, rock for dog park
09/15/2016	Jeremy	Trans	Please replace all tires, all bad
09/15/2016	Joe	Trans	Poor running no power
09/16/2016	PD	Build	Replaced belt on rooftop unit 1, switch too
09/16/2016	PW	Build	Mop sink is leaking...
09/26/2016	Joe	Trans	Oil Change and Maint. checks
09/22/2016	Holly	Build	Moving desk to Luke's office and vice versa
09/19/2016	Louise	Build	Windflower Park Boys restroom door is damaged
09/23/2016	Joe	Trans	Quickie saw does not start or run well
10/02/2016	Tim		Repair or replace mail box 4381 Wakonda
09/26/2016	Louise	Build	Service ball field drag
09/27/2016	Louise	Build	Toilets are loose, all need braced and repaired
09/27/2016	PD	Trans	Lof Rear pad and rotors
09/30/2016	Nancy	Build	Bad/burnt outlet

#### **ANIMAL CONTROL:**

- Respond to unattended dog complaints
- Tend to dogs held in kennel
- Clean and sanitize kennel

#### **ROADWAY RELATED ACTIVITIES:**

- Fill pot holes
- Mow and trim Right of Ways
- Pavement replacement on Ponderosa
- Install signage new subdivisions
- Provide traffic control devices for local football games
- Manhole repairs

#### **STORMWATER RELATED ACTIVITIES:**

- Perform intake repairs

**ADMINISTRATIVE:**

- Prepare documents for council meetings
- Meet with asphalt contractor to review Woodmayr and Woodmayr Circle repairs
- Attend council meetings
- Attend weekly progress meetings with City Manager
- Participate in traffic signal development meeting
- Attend Department Head Meetings
- Conduct infrastructure inspection in new development
- Participate in bid letting for West North Ave Trail project
- Meet with planning committee for future park development
- Attend preconstruction meeting for Blooming Heights Development
- Attend Collective Bargaining Workshop
- Participate in update meeting for the pool repair project
- Participate in subdivision review meeting
- Attend Metro Waste Board meeting
- Attend CIRDWIC Technical Advisory Committee meeting
- Conduct infrastructure inspection for Cedar Street Extension
- Meet with DOT District 5 staff for traffic control and general traffic conditions on Hwy 28
- Attend Special City Council Meeting
- Meet with contractors for restorations needed on projects
- Meet with LED contractor for project update
- Attend pre-construction meeting for 50<sup>th</sup> Ave Bridge project
- Attend Iowa League of Cities Conference

**MISCELLANEOUS ACTIVITIES:**

- Attend visitation for part time employee Ron Tuttle
- Lower flags to half-staff when ordered



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 07  
For Meeting of 10.20.2016

**ITEM TITLE:** An ordinance amending Chapter 55 Animal Protection and Control amending the definition of dog at large.

**CONTACT PERSON:** Nancy Kuehl, Parks and Recreation Director

**SUMMARY EXPLANATION:**

Adding section 55.01(3)(f) providing for an exemption from the definition of dog at large for authorized animals contained within the City of Norwalk's Dog Park.

____Resolution____Ordinance____Contract____Other (Specify) _____
Funding Source: _____
APPROVED FOR SUBMITTAL _____ City Manager

**STAFF RECOMMENDATION:** This Ordinance shall take effect immediately upon its passage.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING CHAPTER 55 (ANIMAL PROTECTION AND CONTROL) AMENDING THE DEFINITION OF DOG AT LARGE**

Sections:

- Section 1. Purpose.
- Section 2. 55.01(3)(F) created.
- Section 3. Repealer
- Section 4. Severability Clause
- Section 5. When Effective

Section 1. Purpose. The purpose of this Ordinance is to provide a new Section 55.01(3)(f) providing for an exemption from the Definition of Dog At Large for authorized animals contained within the City of Norwalk’s Dog Park.

Section 2. 55.01(3)(F) created. Section 55.01(3)(F) of Chapter 55 (Animal Protection and Control) is hereby created as follows:

55.01(3)(F) The animal is contained within the City of Norwalk Dog Park, is supervised by its owner, and the owner possesses a Dog Park Pass issued by the City to the owner.

Section 3. Repealer. Any ordinance or parts of ordinances in conflict with this ordinance are hereby repealed.

Section 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 5. When Effective. This ordinance shall be in full force and effect upon final passage, approval, and publication as provided by law.

Passed and approved this \_\_\_\_ day of \_\_\_\_\_, 201^.

\_\_\_\_\_  
Tom Phillips, Mayor

\_\_\_\_\_  
ATTEST: Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

First Reading: \_\_\_\_\_

Second Reading: \_\_\_\_\_

Third Reading: \_\_\_\_\_

I certify that the foregoing was published as Ordinance No \_\_\_\_\_ on the \_\_\_\_\_ day of \_\_\_\_\_ 2016.

\_\_\_\_\_  
Jodi Eddleman, City Clerk



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 08  
For Meeting of 10.20.2016

**ITEM TITLE:** Dog Park fees.

**CONTACT PERSON:** Nancy Kuehl, Parks and Recreation Director

**SUMMARY EXPLANATION:**  
Approve the pricing for the new dog park.

<p>___ Resolution ___ Ordinance ___ Contract ___ Other (Specify) _____</p> <p>Funding Source: _____</p> <p>APPROVED FOR SUBMITTAL _____ City Manager</p>
--

**STAFF RECOMMENDATION:** This Ordinance shall take effect immediately upon its passage.

**ORDINANCE NO**

**AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF NORWALK, IOWA,  
CHAPTER 177 - RATES AND FEES, BY AMENDING EXISTING SECTION 177.01 2.  
Chapter 24 –PARKS AND RECREATION FEES.**

**BE IT ENACTED** by the City Council of the City of Norwalk, Iowa:

**SECTION 1. SECTION MODIFIED.** Section 177.01 2. Chapter 24 – Parks and Recreation Fees of the Code of Ordinances of the City of Norwalk, Iowa, is amended read as follows:

<b>Category</b>	<b>Activity</b>	<b>Base Price</b>	<b>Tax</b>	<b>Total</b>
Parks	Dog Park Passes – Resident (max 3 dogs)	\$25.00	n/a	\$25.00
Parks	Dog Park Passes – Nonresident (max 3 dogs)	\$30.00	n/a	\$30.00

**SECTION 2. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**SECTION 3. SEVERABILITY CLAUSE.** If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**SECTION 4. WHEN EFFECTIVE.** This ordinance shall be in effect October 20, 2016 and after its final passage, approval and publication as provided by law.

Passed by the Council the 20<sup>th</sup> day of October, 2016, and approved this 20<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
Tom Phillips, Mayor

\_\_\_\_\_  
ATTEST: Jodi Eddleman, City Clerk

**ROLL CALL VOTE:**

	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

I certify that the foregoing was published as Ordinance No. \_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk – Jodi Eddleman



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 09  
For Meeting of 10.20.16

**ITEM TITLE:** Resolution for Consideration Accepting Public Infrastructure for MarketPlace at Echo Valley

**CONTACT PERSON:** Tim Hoskins, Public Works Director

**SUMMARY EXPLANATION & HISTORY:**

The Market Place at Echo Valley is a new subdivision north of Beardsley Street and east of Sunset Drive. The developer’s engineer has submitted documentation that the public improvements have been installed in accordance with the plans and specifications for the project. A site inspection was conducted on October 3, 2016 with the following items found to be addressed:

- Storm sewer lines needed to be cleaned
- Remove and replace street surface at Station 11+50 and between ST-10 and ST-11 intakes due to poor surface finish & exposed aggregate.
- Cut swale at ST-13 to allow flows past rip-rap mat. Remove silt from existing rip-rap.
- Install erosion control and have site seeded and mulched.

These items have been addressed as of this writing with the exception of the final seeding and mulching. The contractors have provided necessary bonds and with the acceptance of this resolution, the 4 year maintenance period will start. The developer, United Properties Investment Co. L.C. is now asking the City to accept the following improvements:

<u>STREETS</u>	<u>SYSTEM TOTAL</u>
• 1589’ of 27’wide, 7” thick concrete	315.23 lane miles
 <u>SANITARY SEWER</u>	
• 1384’ of 8” sanitary sewer main	77.92 miles
• 7 manholes	236 structures
 <u>STORM SEWER</u>	
• 1075’ of various sized storm sewer main	56.52 miles
• 3 manholes	127 structures
• 12 intakes	209 structures
 <u>WATER</u>	
• 1498’ of 8” water main	54.12 miles
• 11 valves	134 devices
• 6 fire hydrants	91 installations

**FUNDING:**

There is no cost associated with this action.

**ALTERNATIVES:**

1. Approve the resolution accepting the infrastructure.
2. Take no action leaving the infrastructure as private.
3. Postpone acceptance to a future date.

**RECOMMENDATION:**

**Staff recommends Alternative 1**

**RESOLUTION NO**

**RESOLUTION ACCEPTING IMPROVEMENTS  
KNOWN AS MARKETPLACE AT ECHO VALLEY**

WHEREAS, the owner and developer, United Properties Investment Co. L.C. contracted with Civil Design Advantage to prepare construction plans and specifications for MarketPlace at Echo Valley; and,

WHEREAS, Civil Design Advantage is responsible for overseeing all the infrastructure improvements including the installation of the site grading and sub-grade preparation, sanitary sewer, streets, storm water, and water mains; and,

WHEREAS, Civil Design Advantage has submitted a letter stating that the work of constructing the site grading, sanitary sewer, storm water, streets, and water mains have been completed and substantially complies with the terms, conditions, and stipulations of the plans and specifications; and,

WHEREAS, United Properties Investment Co. L.C. desires to dedicate the sanitary sewer, storm water, streets, and water main improvements to the City of Norwalk as public improvements.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Norwalk, Iowa, that said public improvements be formally accepted and approved at this time.

Passed and approved this 20<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
Tom Phillips, Mayor

\_\_\_\_\_  
ATTEST:  
Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	<b>Ay e</b>	<b>Nay</b>	<b>Abstain</b>	<b>Absent</b>
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 10  
For Meeting of 10.20.2016

- REQUEST:** Request from United Properties LC to approve the Final Plat of the ***Marketplace at Echo Valley***
- STAFF CONTACT:** Luke Parris, AICP  
City Planner
- APPLICANT(S):** United Properties LC                      Civil Design Advantage, LLC  
4521 Fleur Drive, Suite C                      34-5 SE Crossroads Dr. Suite G  
Des Moines, Iowa 50321                      Grimes, Iowa 50111
- GENERAL DESCRIPTION:** This request would create 5 lots along Iowa Highway 28 that are zoned C-2 as part of the Echo Valley Community PUD amendment request. The request also creates a large outlot to the east of Marketplace Drive for future development and a smaller outlot to serve as a buffer between the development and existing single family homes to the east.
- IMPACT ON NEIGHBORHOOD:** Single family homes are to the north of the proposed development. The majority of the single family homes are adjacent to Outlot Y. Three lots are adjacent to the proposed commercial lot 1. This lot requires a buffer wall per the approved Echo Valley Community PUD amendment. To the west across Iowa Highway 28 are single family homes and the New Life Lutheran Church.
- VEHICULAR & PEDESTRIAN TRAFFIC:** The plat shows the construction of a new street, named Marketplace Drive. The developer has worked with Hy-Vee regarding a similar named street that had been planned by Hy-Vee.
- Marketplace Drive maintains the current intersection with Iowa Highway 28. The City is currently in the process of developing a traffic signal at the intersection. There is a new intersection with Beardsley Street that is approximately 350' from Iowa Highway 28.
- The removal of the old Masteller intersection with Beardsley and relocating further to the east will improve traffic operation through the area.

The street is 28' wide on the plat with it widening to 37' at the intersection of Beardsley Street.

**TRAIL PLAN:**

An 8' wide trail is planned for the east side of Marketplace Drive. A 10' wide trail easement is shown along Beardsley Street. The trail along Beardsley Street would eventually connect back to the east. The trails on the site will be built as development occurs.

**ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:**

The site was rezoned with an amendment to the Echo Valley Community PUD in May 2016. The zoning for the 5 platted lots is C-2 Community Commercial District. The rest of the site, located in Outlot Y, allowed to be a mix of C-2, R-4, R-3, & R-2. Outlot Y will need to be replatted prior to any development occurring in that area.

**BULK REGULATIONS:**

- Minimum lot area – 20,000 SF
- Minimum lot width – 100'
- Front Setback – 30'
- Side setback – 10' and 20' total
- Rear setback – 10'
- Height – 50'

**DRAINAGE:**

Drainage for the commercial lots is identified in two detention areas located on Outlot Y. Drainage is collected in a storm sewer system and discharged overland to the detention areas. There is no concern on the overland flow because the project is a single owner and Outlot Y will require further platting to be developed. At that time the overland flow will need to be addressed, either through the creation of easements or the development of an additional storm sewer system. The 5 commercial lots also intend to use the temporary basins for detention until Outlot Y develops. The developer has indicated the following conditions on the temporary basins:

- United Properties will maintain these basins until other arrangements are made, i.e. development of Outlot 'Y'.
- If Outlot 'Y' is not developed within 10 years – United Properties shall convert these temporary basins into permanent detention basins.
- If lots 1, 2, or 5 are developed before Outlot 'Y' they would need to prepare additional detention calculations and increase the temporary basin volumes or add additional temporary basins or convert to permanent basins.
- All temporary basins shall be converted to permanent detention basins that meet City requirements no later than October 2026.

**DEVELOPMENT HISTORY:**

The area was planned as a PUD on July 14, 2004 and amended on May 9, 2016.

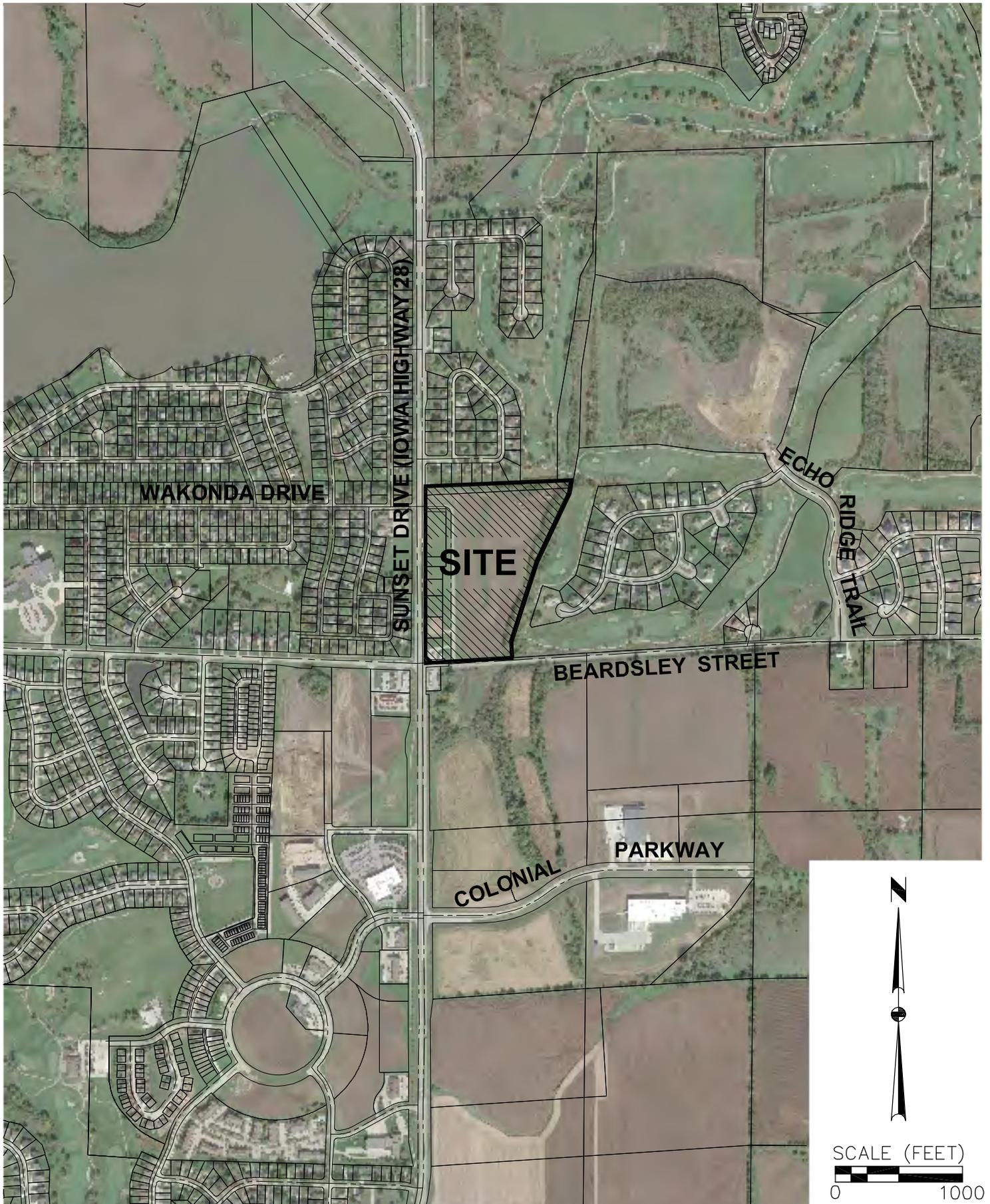
<b>FLOODPLAIN:</b>	None of the proposed lots are located within a floodplain.
<b>PARKLAND:</b>	No parkland dedication is required for the platting of commercial lots. Any future residential development would need to meet the City's parkland dedication requirements.
<b>UTILITIES: WATER, SANITARY SEWER, STORM SEWER.</b>	Adequate easements are provided for the appropriate City services and utilities.
<b>RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:</b>	The future land use plan the majority of this area as General Commercial with a portion shown as Park/Recreation near the Golf Course. The plat will create commercial lots that are in accordance with the future land use plan.
<b>STAFF ANALYSIS – ZONING ORDINANCE:</b>	<p>The Final Plat consists of 5 commercial lots and 1 outlot for future development. The plat consists of 27.85 acres of land east of Iowa Highway 28 and north of Beardsley Street. The commercial lots vary in size measuring from 44,858 SF to 94,593 SF. Outlot Y is 635,666 SF of future development ground and will require further platting.</p> <p>Streets shown will be dedicated to the City for street use upon approval of the Final Plat. The designated street right-of-way is 60 feet with a 28' wide road. At the intersection of Marketplace Drive and Beardsley Street, the right-of-way widens to 65' with a 37' wide road to allow for turn lanes.</p> <p>The area was rezoned via a PUD amendment to the Echo Valley Community PUD in May 2016. The PUD requires any commercial lots in the C-2 district regulations. Lot 1 will be required to install a masonry and wood slat buffer wall along the north boundary.</p> <p>Outlot Y would allow for a mix of C-2, R-4, R-3, and R-2 uses. Outlot Y will need to be replatted prior to any future development on the ground.</p>
<b>STAFF ANALYSIS – SUBDIVISION ORDINANCE:</b>	<p>The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer's certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.</p> <p>The applicant will need to submit all other required documents prior to release of the final plat for recording.</p>

**PLANNING & ZONING  
RECOMMENDATION:**

Therefore, the Planning and Zoning Commission recommends that the request for the Final Plat of Marketplace at Echo Valley be approved with the following conditions:

- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

<p><input checked="" type="checkbox"/> Resolution _____ Ordinance ____ Contract _____ Other (Specify) _____</p> <p>Funding Source: _____ NA _____</p> <p>APPROVED FOR SUBMITTAL _____ Luke Nelson City Manager</p>
--



SCALE (FEET)



## Luke Parris

---

**From:** Scott McMurray <[scott@smcmurray.com](mailto:scott@smcmurray.com)>  
**Sent:** Thursday, September 08, 2016 2:42 PM  
**To:** Luke Parris  
**Cc:** Luke Nelson; Wade Wagoner; Michael Coppola  
**Subject:** Fwd: Market Place Drive

Scott McMurray  
515-285-8880 (o)  
515-490-4006 (c)

Begin forwarded message:

**From:** "Wadle, Rob" <[RWadle@hy-vee.com](mailto:RWadle@hy-vee.com)>  
**Date:** September 8, 2016 at 2:40:20 PM CDT  
**To:** Scott McMurray <[scott@smcmurray.com](mailto:scott@smcmurray.com)>  
**Subject:** Market Place Drive

Scott

Hy-Vee relinquishes their naming rights to the street known as Market Street as described in the Development Agreement between Hy-Vee, inc., and the City of Norwalk, for a new street name to be identified later. Hy-Vee only dedicates the naming rights to Coppola Enterprises Inc, for the use in their development generally located on the northeast corner of Beardsley and Hwy 28, for the future road they call "Market Place Drive".

Thanks

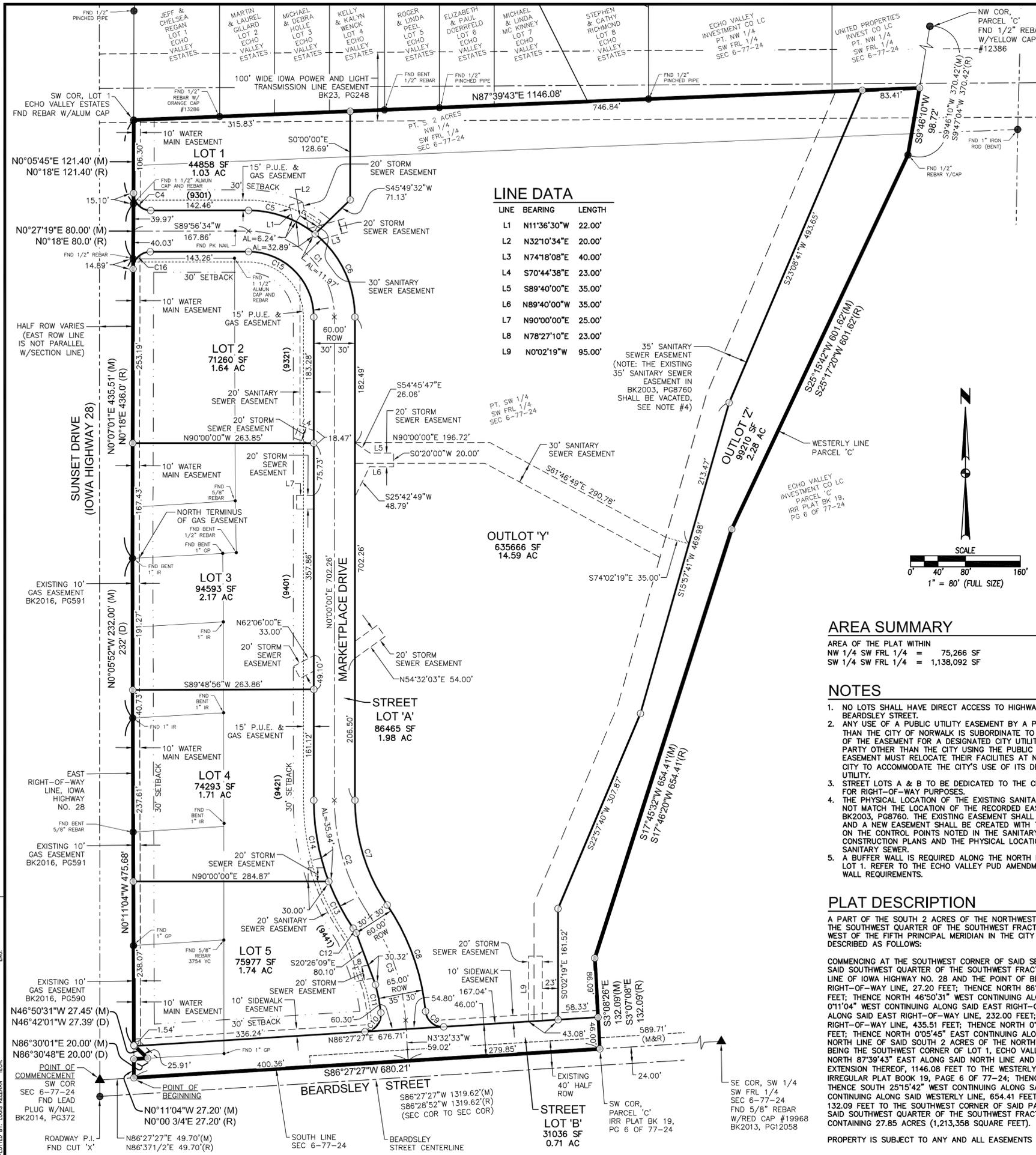
**Rob Wadle** | *Director, Real Estate* | CCIM  
Hy-Vee, Inc. | [Rwadle@hy-vee.com](mailto:Rwadle@hy-vee.com) | Phone 515.267.7889



**CONFIDENTIALITY NOTICE:** The information contained in this e-mail message is legally privileged and confidential information intended only for the use of the addressee(s). The information contained in this transmission is the property of the sender. If you are not the addressee, you are hereby notified that any disclosure, distribution, copying, or the taking of any action in reliance on the contents of the transmitted information is prohibited. If you have received this e-mail message in error, please immediately notify the sender by reply or telephone and destroy the transmission. A failure to do so may result in legal action to retrieve this proprietary information.

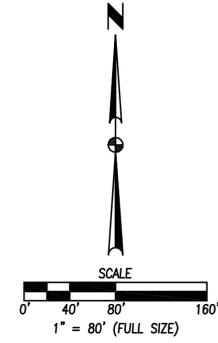
# MARKETPLACE AT ECHO VALLEY

## FINAL PLAT



### LINE DATA

LINE	BEARING	LENGTH
L1	N11°36'30"W	22.00'
L2	N32°10'34"E	20.00'
L3	N74°18'08"E	40.00'
L4	S70°44'38"E	23.00'
L5	S89°40'00"E	35.00'
L6	N89°40'00"W	35.00'
L7	N90°00'00"E	25.00'
L8	N78°27'10"E	23.00'
L9	N0°02'19"W	95.00'



### AREA SUMMARY

AREA OF THE PLAT WITHIN  
 NW 1/4 SW FRL 1/4 = 75,266 SF  
 SW 1/4 SW FRL 1/4 = 1,138,092 SF

- ### NOTES
- NO LOTS SHALL HAVE DIRECT ACCESS TO HIGHWAY 28 OR BEARDSLEY STREET.
  - ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.
  - STREET LOTS A & B TO BE DEDICATED TO THE CITY OF NORWALK FOR RIGHT-OF-WAY PURPOSES.
  - THE PHYSICAL LOCATION OF THE EXISTING SANITARY SEWER DID NOT MATCH THE LOCATION OF THE RECORDED EASEMENT IN BK2003, PG8760. THE EXISTING EASEMENT SHALL BE VACATED AND A NEW EASEMENT SHALL BE CREATED WITH THIS PLAT BASED ON THE CONTROL POINTS NOTED IN THE SANITARY SEWER CONSTRUCTION PLANS AND THE PHYSICAL LOCATION OF THE SANITARY SEWER.
  - A BUFFER WALL IS REQUIRED ALONG THE NORTH BOUNDARY OF LOT 1. REFER TO THE ECHO VALLEY PUD AMENDMENT FOR BUFFER WALL REQUIREMENTS.

### PLAT DESCRIPTION

A PART OF THE SOUTH 2 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHWEST FRACTIONAL QUARTER AND A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST FRACTIONAL QUARTER, ALL IN SECTION 6, TOWNSHIP 77 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF NORWALK, WARREN COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 6; THENCE NORTH 86°27'27" EAST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST FRACTIONAL QUARTER, 49.70 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF IOWA HIGHWAY NO. 28 AND THE POINT OF BEGINNING; THENCE NORTH 0°11'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE, 27.20 FEET; THENCE NORTH 86°30'01" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 20.00 FEET; THENCE NORTH 46°50'31" WEST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 27.45 FEET; THENCE NORTH 0°11'04" WEST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 475.68 FEET; THENCE NORTH 0°05'52" WEST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 232.00 FEET; THENCE NORTH 0°07'01" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 435.51 FEET; THENCE NORTH 0°27'19" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 80.00 FEET; THENCE NORTH 0°05'45" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, 121.40 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTH 2 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHWEST FRACTIONAL QUARTER, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 1, ECHO VALLEY ESTATES, AN OFFICIAL PLAT IN SAID CITY OF NORWALK; THENCE NORTH 87°39'43" EAST ALONG SAID NORTH LINE AND THE SOUTH LINE OF SAID ECHO VALLEY ESTATES AND THE EASTERLY EXTENSION THEREOF, 1146.08 FEET TO THE WESTERLY LINE OF PARCEL 'C' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN IRREGULAR PLAT BOOK 19, PAGE 6 OF 77-24; THENCE SOUTH 9°46'10" WEST ALONG SAID WESTERLY LINE, 98.72 FEET; THENCE SOUTH 25°15'42" WEST CONTINUING ALONG SAID WESTERLY LINE, 601.62 FEET; THENCE SOUTH 17°45'32" WEST CONTINUING ALONG SAID WESTERLY LINE, 654.41 FEET; THENCE SOUTH 3°08'26" EAST CONTINUING ALONG SAID WESTERLY LINE, 132.09 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'C'; THENCE SOUTH 86°27'27" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST FRACTIONAL QUARTER, 680.21 FEET TO THE POINT OF BEGINNING AND CONTAINING 27.85 ACRES (1,213,358 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT (PARCEL J)

### BENCHMARKS

**BM#1**  
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND MASTELLER ROAD. ELEVATION=895.14

**BM#2**  
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02

### DATE OF SURVEY

SEPTEMBER 9, 2015

### OWNER / DEVELOPER

UNITED PROPERTIES INVEST CO LC  
 C/O MICHAEL COPPOLA  
 4521 FLEUR DRIVE, SUITE C  
 DES MOINES, IOWA 50321

### ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
 3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PH: 515-369-4400

### LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #18660 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	
BUILDING SETBACK LINE	---	
PLAT BOUNDARY	---	

### CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	90°03'26"	125.00'	196.47'	N45°01'43"W	176.86'
C2	34°18'43"	300.00'	179.66'	N17°09'21"W	176.98'
C3	30°46'10"	300.00'	161.11'	N18°55'38"W	159.18'
C4	90°09'11"	25.00'	39.34'	S44°58'50"E	35.40'
C5	38°50'18"	155.00'	105.07'	S70°38'17"E	103.07'
C6	51°13'08"	155.00'	138.56'	S25°36'34"E	133.99'
C7	34°18'43"	270.00'	161.69'	S17°09'21"E	159.29'
C8	28°50'07"	330.00'	166.08'	S19°53'39"E	164.33'
C9	88°03'58"	25.00'	38.43'	S49°30'34"E	34.75'
C10	92°51'41"	25.00'	40.52'	S40°01'37"W	36.23'
C11	8°58'34"	265.00'	41.52'	S10°53'31"E	41.47'
C12	1°44'35"	270.00'	8.21'	S33°26'25"E	8.21'
C13	13°20'56"	330.00'	76.88'	S27°38'15"E	76.71'
C14	20°57'47"	330.00'	120.74'	N10°28'53"W	120.07'
C15	90°03'26"	95.00'	149.32'	N45°01'43"W	134.42'
C16	89°49'34"	25.00'	39.19'	S45°01'47"W	35.30'

LOUIS M. BELLMAN  
 18660

PRELIMINARY  
 NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
 DATE: \_\_\_\_\_  
 ANY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
 PAGES OR SHEETS COVERED BY THIS SEAL:  
 THIS SHEET

COMMENT: DRAWING  
 FILE: H:\1507367\1507367-FINAL-PLATING-10/27/2016 8:48 AM  
 PLOTTED BY: LOUIS BELLMAN  
 CHECKED BY: LOUIS BELLMAN

REVISIONS  
 THIRD SUBMITTAL 10/03/16  
 SECOND SUBMITTAL 09/07/16  
 FIRST SUBMITTAL 08/22/16

DATE

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH:

ENGINEER:

CIVIL DESIGN ADVANTAGE

MARKETPLACE AT ECHO VALLEY

NORWALK, IOWA

FINAL PLAT

1507.367

RESOLUTION NO. \_\_\_\_

**A RESOLUTION APPROVING THE FINAL PLAT OF THE MARKETPLACE AT ECHO VALLEY**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on September 12, 2016 and recommends approval of the Final Plat; and

WHEREAS, that the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.; and

WHEREAS, that any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Final Plat of the Marketplace at Echo Valley as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 20th day of October, 2016.

\_\_\_\_\_  
Tom Phillips - Mayor

ATTEST:

\_\_\_\_\_  
JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No.11  
For Meeting of 10.20.2016

- REQUEST:** Request from United Properties to approve the ***Site Plan for Lot 3 of the Marketplace at Echo Valley***
- STAFF CONTACT:** Luke Parris, AICP  
City Planner
- APPLICANT(S):** United Properties LC                      Civil Design Advantage, LLC  
4521 Fleur Drive, Suite C                      34-5 SE Crossroads Dr. Suite G  
Des Moines, Iowa 50321                      Grimes, Iowa 50111
- GENERAL DESCRIPTION:** This request is for the development of two multi-tenant buildings, each with space for 4 units. The site is zoned C-2 as part of the Echo Valley Community PUD. The development is on lot 3 of the Marketplace at Echo Valley. The site would be developed in phases, with the southern building and parking lot being phase 1 and the northern building being phase 2.
- IMPACT ON NEIGHBORHOOD:** This site plan is the first in the Marketplace at Echo Valley. The rest of the Marketplace at Echo Valley is undeveloped, except for a recently submitted plan for a Clinic in the area. Adjacent uses across Iowa Highway 28 to the west are single family homes that back up to the Highway and the New Life Lutheran Church that should not be impacted by the development.
- VEHICULAR & PEDESTRIAN TRAFFIC:** The site has access to the newly developed Marketplace Drive via a northern access driveway and a southern access driveway that is shared with the proposed Clinic site to the south. Phase 1 of the development would see construction of the northern access driveway and an access road, with associated parking, to provide access to the southern building. The joint access with the Clinic would be constructed as part of the development of the Clinic site, though it is anticipated that the projects will be built simultaneously.
- Internally, the site provides access roads around both buildings. Cross access is provided via driveway stubs on both the north and south end of the site. A drive-thru lane is provided on the north-end of the southern building.

Sidewalks are provided throughout the site to provide pedestrian access. A sidewalk ramp is shown near the northern access driveway that provides access to the trail on the east side of Marketplace Drive. A second sidewalk ramps is shown on the Clinic site to the south that would provide an additional crossing point to the trail on the east side of Marketplace Drive.

**PARKING:**

The City's parking standards requires 1 parking space for every 200 square feet of building footprint for a multi-tenant shopping center. On this site, 70 spaces would be required and 130 space are actually provided. The parking standards also require a minimum of 5 handicap parking spaces. The site plan identifies 5 handicap spaces and shows their locations.

For drive-thru lanes, the City's parking standards require space for 11 cars to queue in line, with 5 of them being in front of the ordering station. The parking standards also require that queuing from the drive-thru lane cannot block any designated parking spaces. The site plan provides the require space for 11 cars in queue with 5 in front of the ordering station, however, some of the cars in queue would block designated parking spaces. The applicant is request a waiver of this requirement as part of site plan approval.

**OPEN SPACE & LANDSCAPING:**

Site zoned C-2 Commercial are required to maintain a minimum of 25% of the site as open space. For this site, 34% (31,901 square feet) of the land is maintained as open space.

For landscaping, the site is required to provide 16 trees and 24 shrubs. The site provides 16 trees and 36 shrubs.

**SIGNAGE:**

The site plan shows a monument sign located along Iowa Highway 28 that is 13.3 feet from the lot line. This exceeds the required minimum setback of 10 feet for a monument sign. Further details on signage will be reviewed by City staff through the sign permitting process.

**ARCHITECTURAL STANDARDS:**

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials, no more than 25% class 3 materials, and no more than 10% class 4 material.

The site plan includes building elevations that identify materials to be used on the building façade. Class 1 and Class 2 materials identified are glass, brick, and stone on each exterior elevation, all of which meet or exceed the 75% requirement. Water managed EIFS is identified as a class 3 material on each external elevation, all of which do not exceed the 25% requirement.

**DRAINAGE:**

The site includes an on-site system to collect storm water runoff from the parking and building. The City Engineer has reviewed the system and determined that it is sized appropriately. The system collects storm water and discharges off-site to the east onto the undeveloped Outlot Y of the Marketplace at Echo Valley where it is detained in temporary detention basins. Staff raised concerns

about this process and the developer has proposed the following solutions to be implemented as a maintenance agreement to be filed with the final plat:

- Use the existing temporary basins as-is to meet the detention requirements for Lots 3 & 4.
- Calculations show the volume of detention required is equivalent to the volume provided in the temporary basins even though there is not a direct relationship of the drainage areas from the lots to each of the basins (volume is provided regardless of where the storm water is derived). So – no additional calculations are required as long as the following is done:
  - United Properties will maintain these basins until other arrangements are made, i.e. development of Outlot 'Y'.
  - If Outlot 'Y' is not developed within 10 years – United Properties shall convert these temporary basins into permanent detention basins.
  - If lots 1, 2, or 5 are developed before Outlot 'Y' they would need to prepare additional detention calculations and increase the temporary basin volumes or add additional temporary basins or convert to permanent basins.
  - All temporary basins shall be converted to permanent detention basins that meet City requirements no later than October 2026.

**UTILITIES: WATER,  
SANITARY SEWER, STORM  
SEWER.**

Adequate services are provided to the site and detailed on the site plan.

**STAFF ANALYSIS:**

Overall the site plan meets or exceeds the City's requirements for development of a C-2 parcel. The applicant has requested a waiver of the requirement that a drive-thru queue line cannot block a designated parking space. It is staff opinion that this waiver should be granted as part of the site plan approval. The site is only required to provide 70 parking spaces and the applicant is proposing nearly double the spaces, so staff is not concerned about creating spaces that are not usable. Additionally, any spaces blocked by the queue line would be at the end of the queue line, resulting in rare instances when a full queue line would block a space, which would be cleared rather quickly.

The staff also raised concerns over the temporary detention basin on Outlot Y. The developer proposed several measures that addressed the staff concerns. Staff is comfortable with the solution as long as the proper agreement is filed with the Final Plat of the Marketplace at Echo Valley.

**PLANNING & ZONING  
RECOMMENDATION:**

Therefore, the Planning & Zoning Commission recommends that the request for the Site Plan for Lot 3 of the Marketplace at Echo Valley be approved with the following conditions:

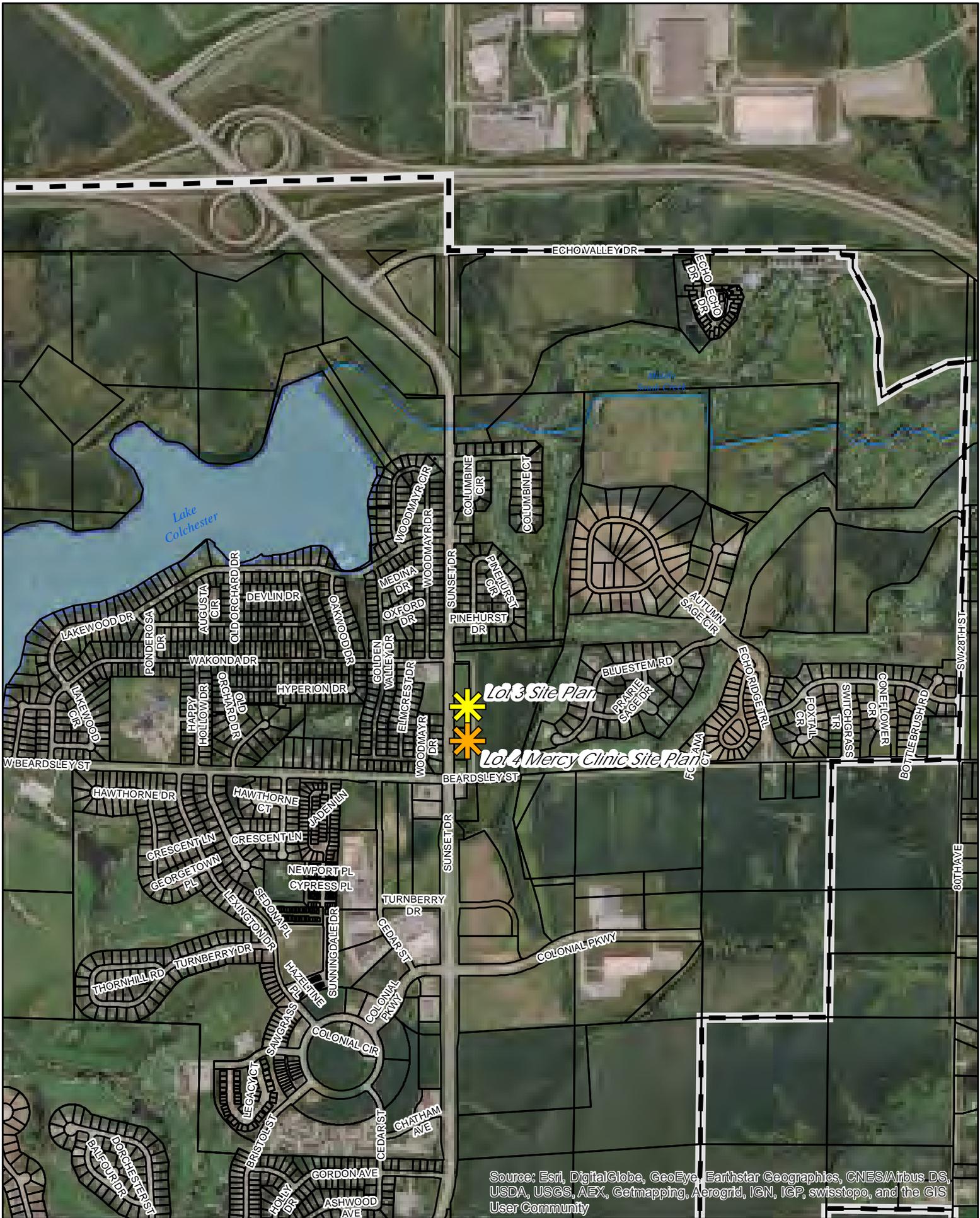
- That the parking requirement prohibiting drive-thru lanes from blocking parking spaces is waived.

- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

Resolution \_\_\_\_\_ Ordinance \_\_\_\_ Contract \_\_\_\_\_ Other (Specify) \_\_\_\_\_

Funding Source: \_\_\_\_\_ NA \_\_\_\_\_

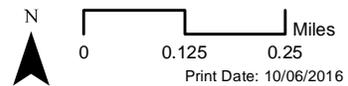
APPROVED FOR SUBMITTAL \_\_\_\_\_ Luke Nelson  
City Manager



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



### Marketplace Site Plans - Vicinity Map



# SITE PLAN FOR: LOT 3 - MARKETPLACE @ ECHO VALLEY

## NORWALK, IOWA INDEX OF SHEETS

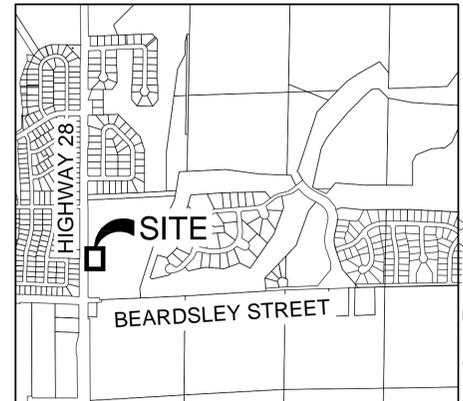
NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

### GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

### VICINITY MAP

NOT TO SCALE



### LEGAL DESCRIPTION

LOT 3, MARKETPLACE AT ECHO VALLEY, IN THE CITY OF NORWALK, WARREN COUNTY, IOWA

### ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT  
PARCEL J - C-2

### PROPOSED USE

MULTI-TENANT SHOPPING CENTER WITH ±8 UNITS.

### PROJECT SITE ADDRESS

9401 MARKETPLACE DRIVE (NORTH BUILDING)  
9411 MARKETPLACE DRIVE (SOUTH BUILDING)

### OWNER / APPLICANT

UNITED PROPERTIES INVEST CO LC  
C/O MICHAEL COPPOLA  
4521 FLEUR DRIVE, SUITE C  
DES MOINES, IOWA 50321

### ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: KEITH WEGGEN  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### ARCHITECT

SIMONSON & ASSOCIATES ARCHITECTS, LLC  
1717 INGERSOLL AVE # 117  
DES MOINES, IOWA 50309  
PH. (515) 440-5626  
FX. (515) 440-0964

### DEVELOPMENT SUMMARY

AREA: 2.17 ACRES (94,593 SF)

MIN LOT AREA: 20,000 SF

MIN LOT WIDTH: 100'

FRONT SETBACK: 30'

SIDE SETBACK: 10'

REAR SETBACK: 10'

HEIGHT: 50'

\* 20' MINIMUM SEPARATION BETWEEN BUILDINGS IN A COMPLEX.

\*\* PRINCIPAL STRUCTURE MAY BE 45' IN HEIGHT BUT NOT EXCEED 3 FLOORS ABOVE GRADE.

PARKING: 1 SPACE PER 200 SF  
TOTAL REQUIRED = 70 SPACES  
TOTAL PROVIDED = 130 SPACES

DRIVE-THRU:  
11 SPACES PROVIDED FOR DRIVE-THRU WINDOW, 5 OF WHICH ARE LOCATED AHEAD OF THE ORDER STATION. SPACES MAY ENCRoACH PRIVATE DRIVES.

### NOTES

- NO LOTS SHALL HAVE DIRECT ACCESS TO HIGHWAY 28 OR BEARDSLEY STREET.
- ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

### DATE OF SURVEY

SEPTEMBER, 2015

### BENCHMARKS

BM#1  
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND MASTELLER ROAD. ELEVATION=895.14

BM#2:  
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02

### SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 9/23/16  
-SITE PLAN SUBMITTAL TO CITY #2: 10/05/16

REFER TO GEOTECHNICAL REPORT FOR GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

**PRELIMINARY**

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2011  
PAGES OR SHEETS COVERED BY THIS SEAL:

1-4

FILE: H:\2015\1507367\NORWALK\_3 SITE PLAN\1507367-SITE LOT 3.DWG PLOTTED BY: KEVIN LUNDQVIST DATE: 10/05/2016 8:58 AM

LOT 3

## CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1507367



FILE: H:\2015\1507367\DWG\LOT 3 SITE PLAN\1507367-SITE LOT 3.DWG  
 COMMENT: DWG  
 PLOTTED BY: PAVAN UNDIKOLA  
 DATE: 10/25/2016 8:00 AM

SUNSET DRIVE / HWY. 28  
 (PUBLIC)

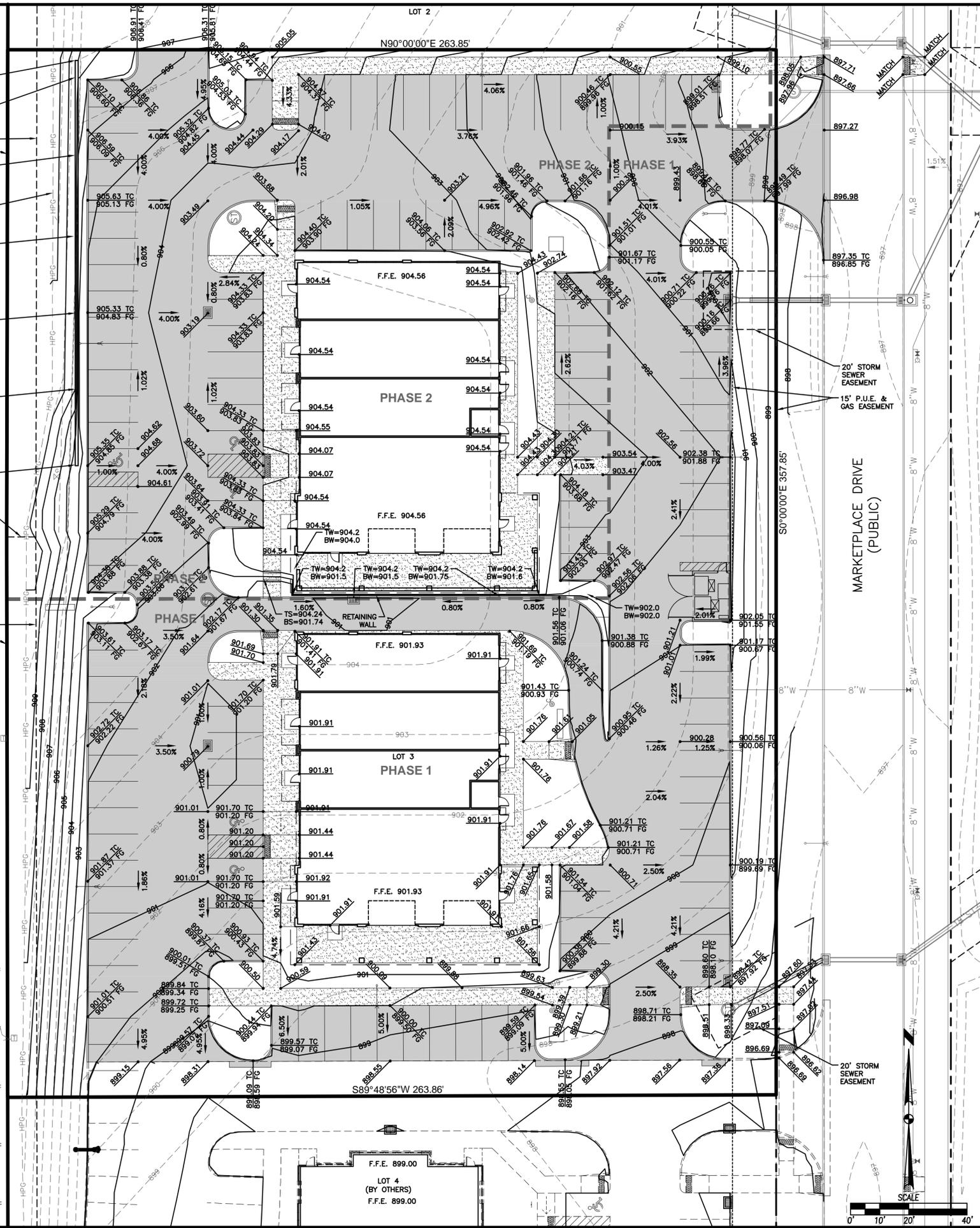
10' WATER EASEMENT

WARNING: EXISTING GAS MAIN

MODULAR BLOCK RETAINING WALL

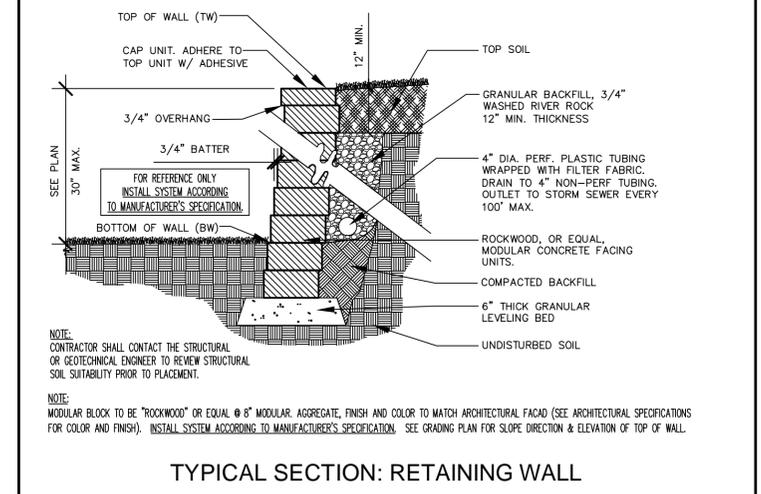
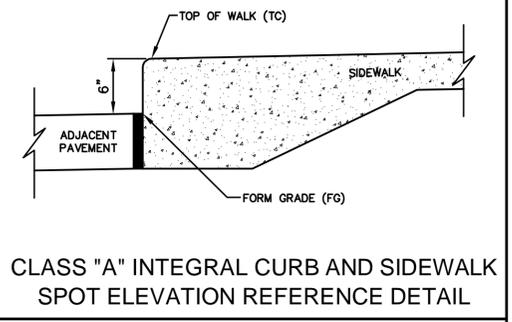
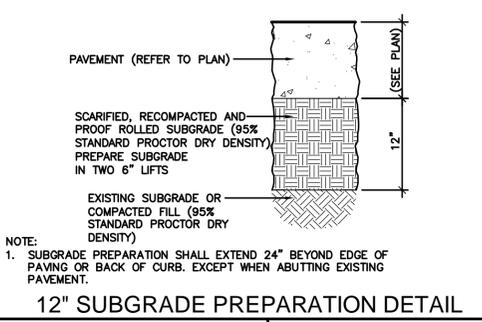
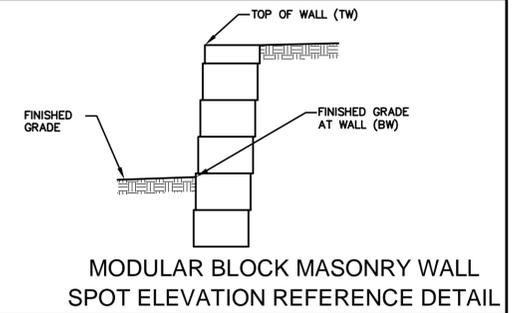
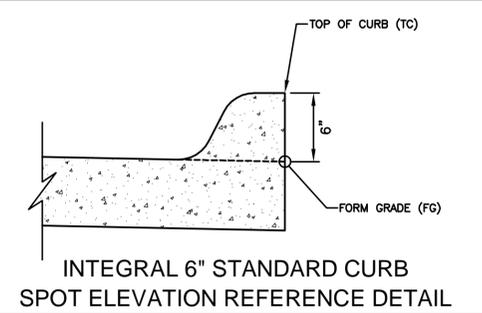
NORTH TERMINUS OF GAS EASEMENT

EXISTING 10' GAS EASEMENT BK2016, PG591



**GRADING NOTES**

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2016 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



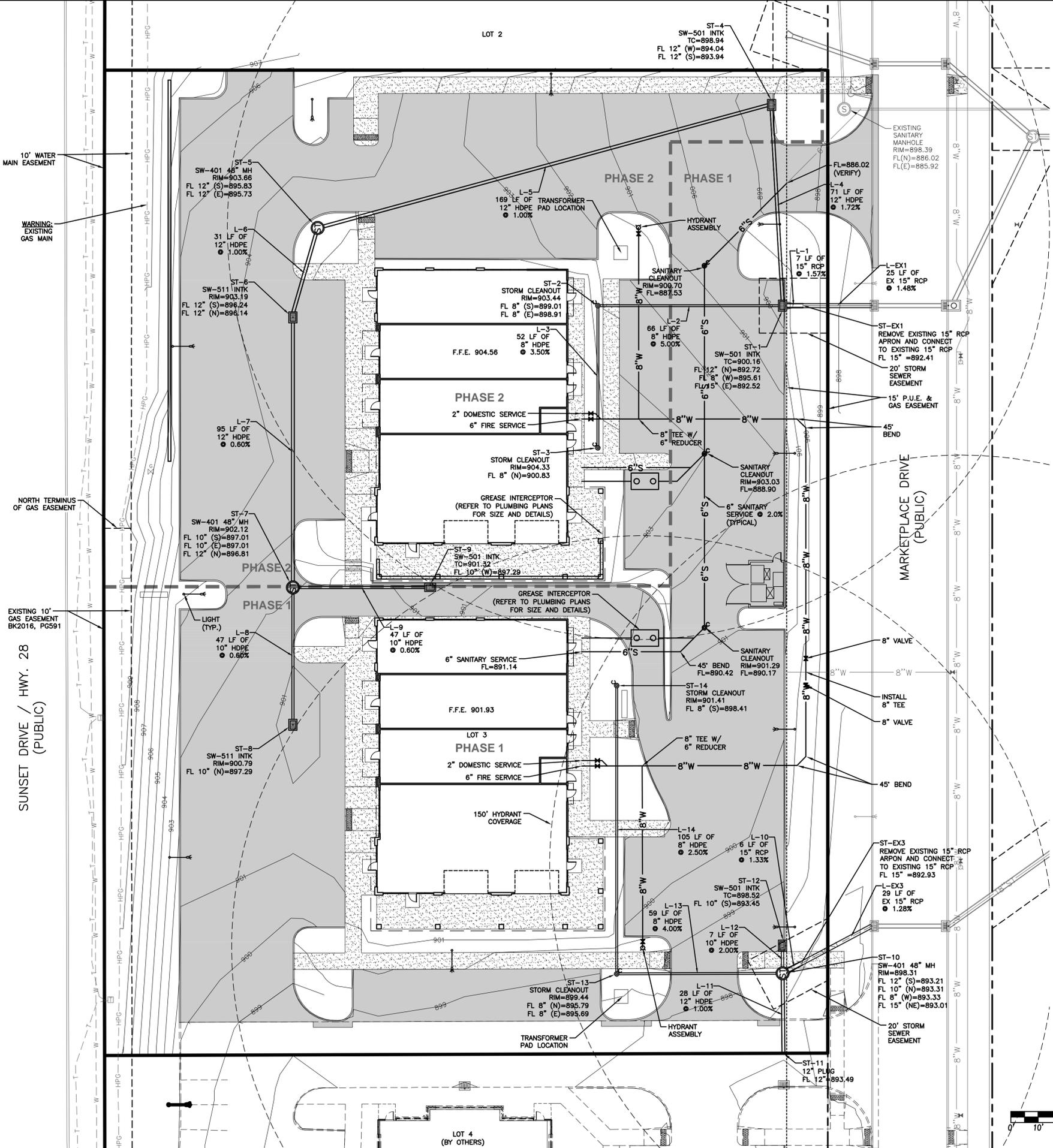
DATE	10/05/16
REVISIONS	
CITY SUBMITTAL #2	
CITY SUBMITTAL #1	

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410



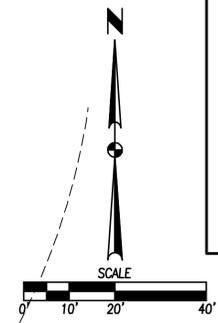
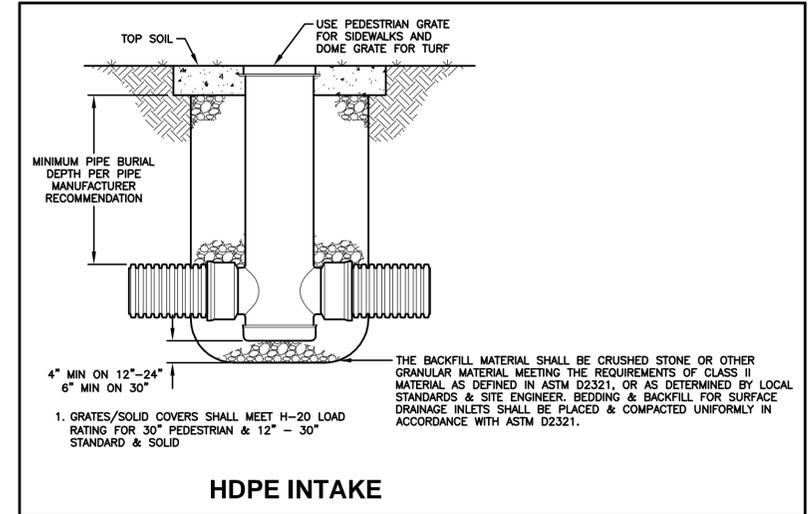
**3 Lot 3 - Marketplace @ Echo Valley**  
 GRADING PLAN

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 COMMENT: DWG  
 PLOTTED BY: ERIC WINDHOLM TECH  
 DATE: 10/25/2016 8:01 AM



**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.



	DATE	10/05/16
	REVISIONS	09/23/16
	CITY SUBMITTAL #2	
	CITY SUBMITTAL #1	

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_

**EVA**  
 CIVIL DESIGN ADVANTAGE

NORWALK, IOWA

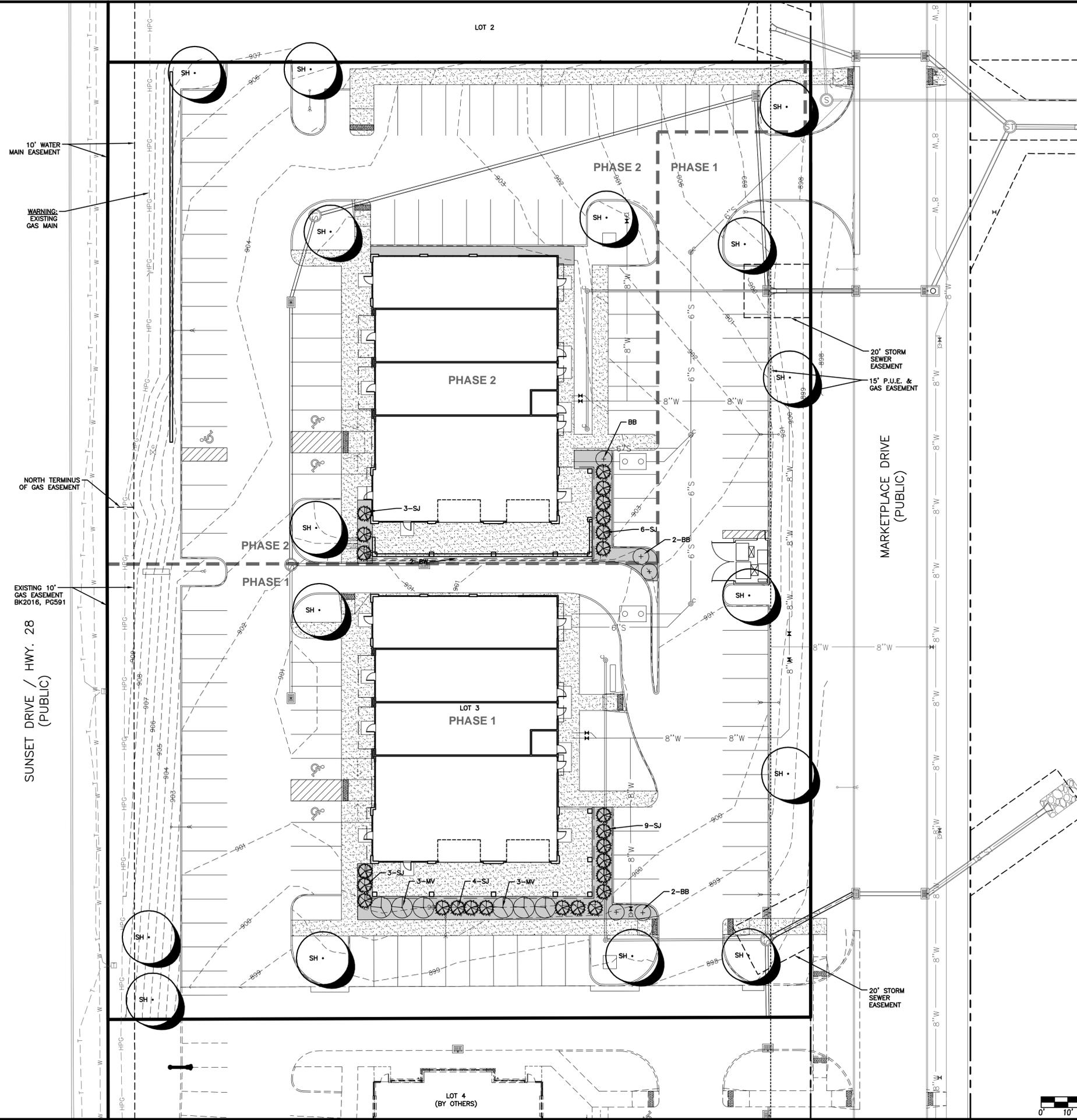
**Lot 3 - Marketplace @ Echo Valley**

**UTILITY PLAN**

4 / 5

1507367

FILE: H:\1507367\1507367\DWG\LOT 3 SITE PLAN\1507367-SITE LOT 3.DWG  
 COMMENT: 10/25/2016 8:02 AM  
 PLOTTED BY: PAVAN LINDHOLM, TECH



- ### LANDSCAPE NOTES
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
  - THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  - TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
  - ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
  - SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
  - BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
  - 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
  - SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
  - ALL EDGING SHALL BE SPADE CUT EDGE.
  - PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
  - ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
  - CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
  - CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

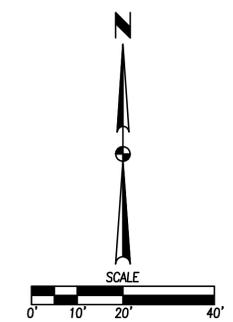
- ### LANDSCAPE REQUIREMENTS
- 1 TREE PER 1,500 SF OR REQUIRED OPEN SPACE AND  
 1 SHRUB PER 1,000 SF OR REQUIRED OPEN SPACE .
- PLANT SIZE REQUIREMENTS**
- TREES:**  
 40% OF TREES = 2"-2.5" CALIPER  
 BALANCE = 8" HEIGHT DECIDUOUS OR 6' HEIGHT CONIFEROUS
- SHRUBS:**  
 18" MINIMUM HEIGHT OR 1 GALLON CONTAINER
- OPEN SPACE REQUIRED = 23,648 SF (25%)  
 OPEN SPACE PROVIDED = 31,901 SF (34%)  
 (BUILDINGS= 14,000 SF)  
 (VEHICULAR PAVEMENT=48,692 SF)
- TREES REQUIRED = 16  
 SHRUBS REQUIRED = 24
- TREES PROVIDED = 16  
 SHRUBS PROVIDED = 36

### PLANT SCHEDULE

CODE/QT	OVERSTORY TREES	SIZE	COND
SH 16	SHADEMASTER HONEYLOCUST   GLEDITSIA TRICANTHAS INERMIS 'SHADEMASTER'	2" CAL	BA&B

CODE/QT	SHRUBS	SIZE	COND
BR 15	DWARF BURNING BUSH   EBURNUM ALATIS COMPACTUS	18" HT.	CONT
MV 8	MOHICAN YBURNUM   YBURNUM LANTANA 'MOHICAN'	18" HT.	CONT
SJ 23	SEA GREEN JUNIPER   JUNIPERUS CHINENSIS 'SEA GREEN'	18" HT.	CONT



DATE	10/05/16
REVISIONS	
CITY SUBMITTAL #2	
CITY SUBMITTAL #1	09/23/16

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_

**ES** CIVIL DESIGN ADVANTAGE  
 NORWALK, IOWA

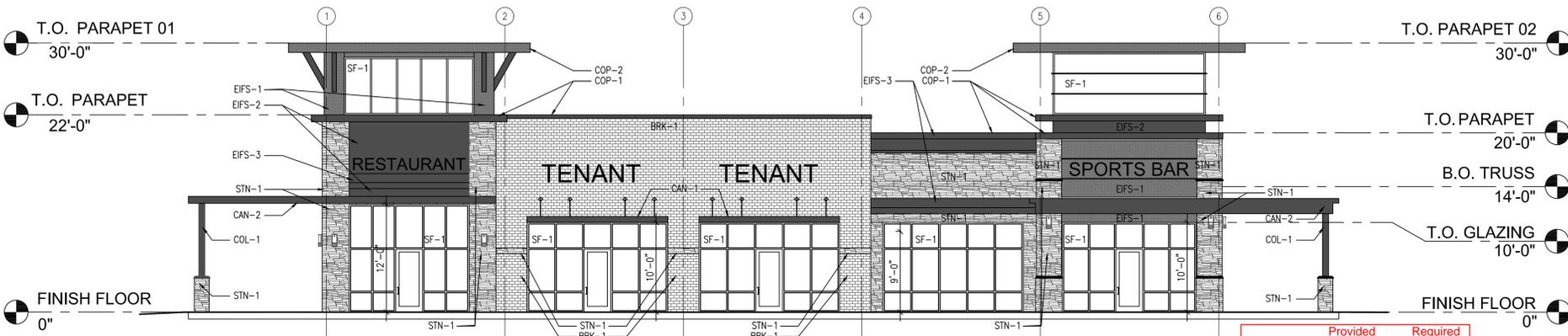
**5** Lot 3 - Marketplace @ Echo Valley  
 LANDSCAPE PLAN

1507367

**EXTERIOR MATERIAL LEGEND**

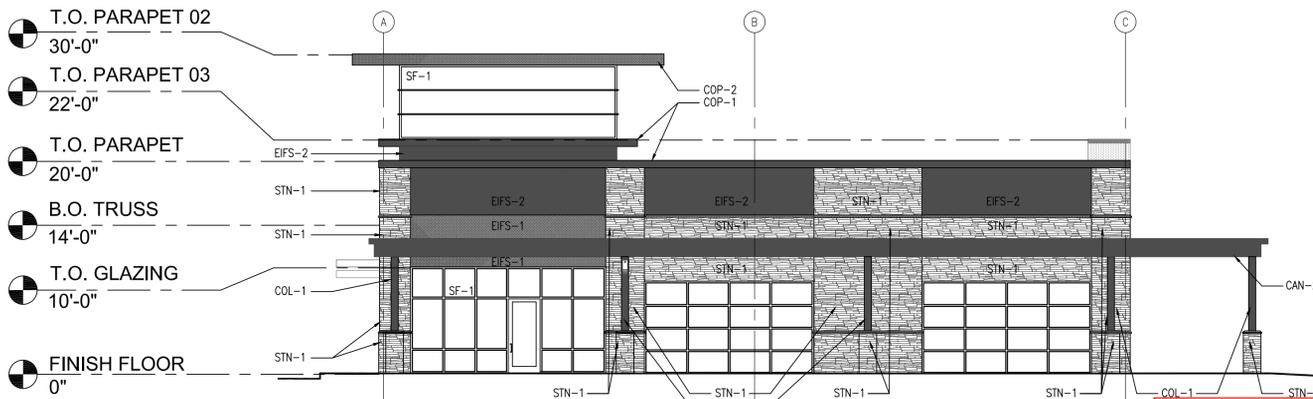
MAT. LABEL	MATERIAL DESCRIPTION
CAN-1	CANOPY, PRE-FINISHED, PRE-ENGINEERED, ALUMINUM CANOPY SYSTEM (COLOR: MATTE BLACK)
CAN-2	CANOPY, WOOD FRAME CANOPY SYSTEM (COLOR: MATTE BLACK)
COP-1	METAL COPING: (COLOR: MATTE BLACK)
COP-2	METAL COPING: (COLOR: MATTE GRAY)
BRK-1	4"x4"x8" BRICK: SMOOTH, BLACK NATURAL MORTAR
BRK-2	4"x4"x8" BRICK: SMOOTH, REDDISH BROWN NATURAL MORTAR
BRK-3	4"x4"x8" BRICK: SMOOTH, BUFF NATURAL MORTAR
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR LIGHT GRAY, SPECIFIC TBD)
EIFS-2	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR DARK GRAY, SPECIFIC TBD)
EIFS-3	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR BLACK, SPECIFIC TBD)
SILL-1	CAST MASONRY SILL PROFILE: SMOOTH, BUFF TO MATCH STONE-1 NATURAL MORTAR
STN-1	CULTURED STONE VENEER: ROUGH FACE, GROUTED NATURAL MORTAR; COLOR TBD
STN-2	CAST STONE MASONRY: 4" DEPTH, SMOOTH, BUFF NATURAL MORTAR
SF-1	T.B. ALUMINUM STOREFRONT FRAMING: CLEAR ANODIZED FINISH

H. METAL MAN DOORS & FRAMES: PAINTED TO MATCH ADJACENT M.PANEL COLOR.  
 OVERHEAD PANEL DOORS: METAL PRE-FINISHED WHITE W/ CLEAR VIEWING WINDOWS.  
 GUTTERS & DOWNSPOUTS: METAL PREFINISHED TO MATCH ADJACENT MATERIAL.  
 FACIA & SOFFIT: METAL PREFINISHED TO MATCH ROOF COLOR.  
 LOUVERS: METAL PRE-FINISHED TO MATCH ADJACENT METAL PANEL COLOR.



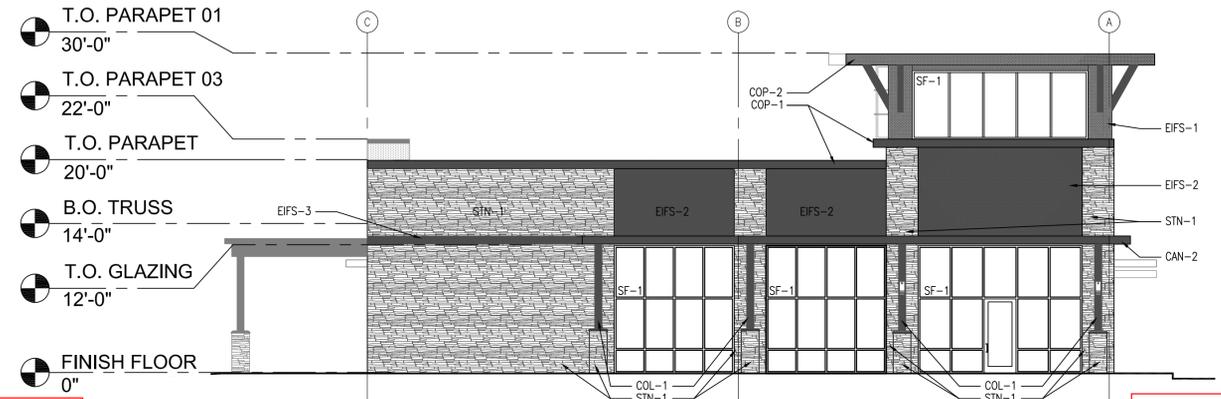
**WEST EXTERIOR ELEVATION**  
 1/8" = 1'-0" @ 24x36  
 1/16" = 1'-0" @ 11x17

	Provided	Required
Class 1 & 2	82%	75%
- Stone	16%	
- Brick	25%	
- Glass	41%	
Class 3	18%	25%
- EIFS	18%	



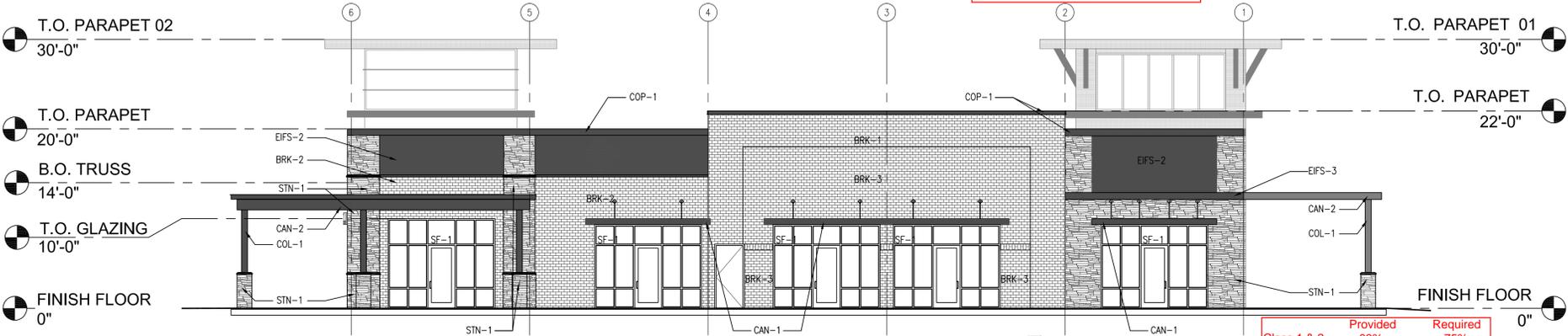
**SOUTH EXTERIOR ELEVATION**  
 1/8" = 1'-0" @ 24x36  
 1/16" = 1'-0" @ 11x17

	Provided	Required
Class 1 & 2	75%	75%
- Stone	37%	
- Brick	0%	
- Glass	38%	
Class 3	25%	25%
- EIFS	25%	



**NORTH EXTERIOR ELEVATION**  
 1/8" = 1'-0" @ 24x36  
 1/16" = 1'-0" @ 11x17

	Provided	Required
Class 1 & 2	75%	75%
- Stone	40%	
- Brick	0%	
- Glass	35%	
Class 3	25%	25%
- EIFS	25%	



**EAST EXTERIOR ELEVATION**  
 1/8" = 1'-0" @ 24x36  
 1/16" = 1'-0" @ 11x17

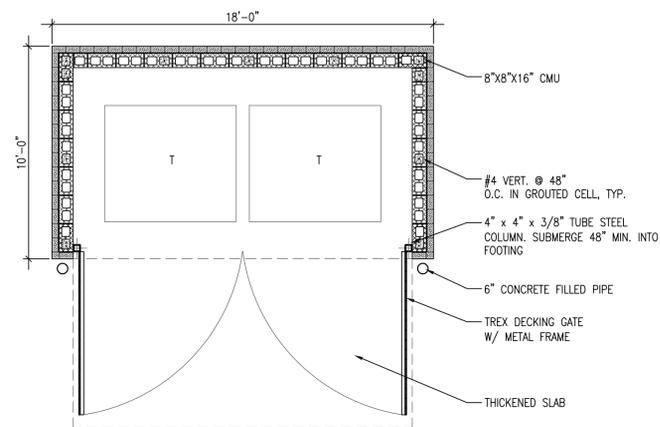
	Provided	Required
Class 1 & 2	83%	75%
- Stone	14%	
- Brick	37%	
- Glass	32%	
Class 3	17%	25%
- EIFS	17%	

**THE MARKET PLACE AT ECHO VALLEY**  
 NORWALK, IOWA  
 10-05-2016

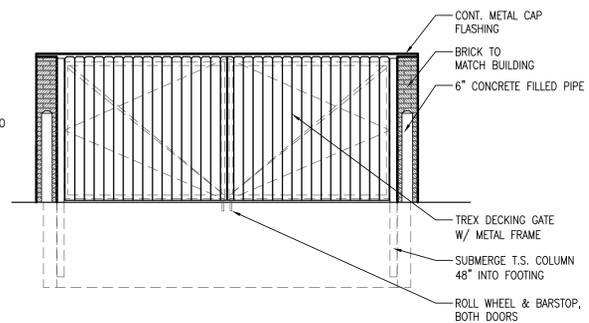
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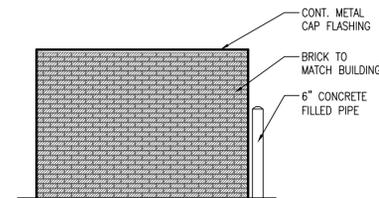
simonson & associates architects llc  
 1717 ingersoll avenue suite 117 des moines ia 50309  
 phn 515 440 5626 www.simonsonassoc.com



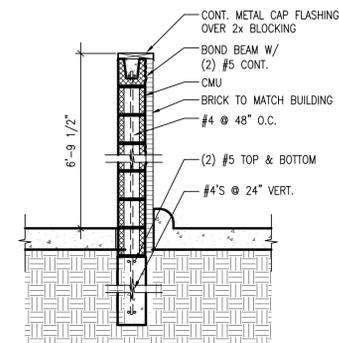
**TRASH ENCLOSURE PLAN**  
 A5.1 SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE ELEVATION**  
 A5.1 SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE SIDE ELEVATION**  
 A5.1 SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE WALL SECTION**  
 A5.1 SCALE: 1/4" = 1'-0"

**THE MARKET PLACE AT ECHO VALLEY**  
 NORWALK, IOWA  
 10-05-2016

SAA# 14049

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**simonson**

simonson & associates architects llc  
 1717 ingersoll avenue suite 117 des moines ia 50309  
 phn 515 440 5626 www.simonsonassoc.com

**RESOLUTION NO.**

**A RESOLUTION APPROVING THE SITE PLAN FOR LOT 3  
OF THE MARKETPLACE AT ECHO VALLEY**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on October 10, 2016 and recommends approval of the Site Plan; and

WHEREAS, that the parking requirement prohibiting drive-thru lanes blocking parking spaces is waived; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan for Lot 3 of the Marketplace at Echo Valley as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 20th day of October, 2016.

\_\_\_\_\_  
Tom Phillips, Mayor

\_\_\_\_\_  
ATTEST: Jodi Eddleman, City Clerk

ROLL CALL VOTE:	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 12  
For Meeting of 10.20.2016

- REQUEST:** Request from United Properties to approve the ***Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley***
- STAFF CONTACT:** Luke Parris, AICP  
City Planner
- APPLICANT(S):** United Properties LC                      Civil Design Advantage, LLC  
4521 Fleur Drive, Suite C                      34-5 SE Crossroads Dr. Suite G  
Des Moines, Iowa 50321                      Grimes, Iowa 50111
- GENERAL DESCRIPTION:** This request is for the development of professional office buildings, which will be space for a Mercy Clinic. The site is zoned C-2 as part of the Echo Valley Community PUD. The development is on lot 4 of the Marketplace at Echo Valley.
- IMPACT ON NEIGHBORHOOD:** This site plan is the second in the Marketplace at Echo Valley. The rest of the Marketplace at Echo Valley is undeveloped, except for a recently submitted plan for a multi-tenant shopping complex to the north. Adjacent uses across Iowa Highway 28 to the west are single family homes that back up to the Highway and the New Life Lutheran Church that should not be impacted by the development.
- VEHICULAR & PEDESTRIAN TRAFFIC:** The site has access to the newly developed Marketplace Drive via a southern access driveway and a northern access driveway that is shared with the proposed multi-tenant site to the north.
- Internally, the site provides access roads around the building. Cross access is provided via driveway stubs on both the north and south end of the site.
- Sidewalks are provided throughout the site to provide pedestrian access. A sidewalk ramp is shown at the northern access drive that provides access to the trail on the east side of Marketplace Drive.
- PARKING:** The City's parking standards requires 1 parking space for every 275 square feet of building footprint for a professional office building. On this site, 54 spaces would be required and 90 space are actually

provided. The parking standards also require a minimum of 4 handicap parking spaces. The site plan identifies 4 handicap spaces and shows their locations.

**OPEN SPACE &  
LANDSCAPING:**

Site zoned C-2 Commercial are required to maintain a minimum of 25% of the site as open space. For this site, 48% (35,511 square feet) of the land is maintained as open space.

For landscaping, the site is required to provide 13 trees and 19 shrubs. The site provides 14 trees and 80 shrubs.

**SIGNAGE:**

The site plan shows a monument sign located along Iowa Highway 28 that is 15 feet from the lot line. This exceeds the required minimum setback of 10 feet for a monument sign. Further details on signage will be reviewed by City staff through the sign permitting process.

**ARCHITECTURAL  
STANDARDS:**

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials, no more than 25% class 3 materials, and no more than 10% class 4 material.

The site plan includes building elevations that identify materials to be used on the building façade. Class 1 and Class 2 materials identified are glass, face brick, decorative masonry and limestone on each exterior elevation, all of which meet or exceed the 75% requirement. Fiber cement board panels are identified as a class 3 material on each external elevation, all of which do not exceed the 25% requirement.

**DRAINAGE:**

The site includes an on-site system to collect storm water runoff from the parking and building. The City Engineer has reviewed the system and determined that it is sized appropriately. The system collects storm water and discharges off-site to the east onto the undeveloped Outlot Y of the Marketplace at Echo Valley where it is detained in temporary detention basins. Staff raised concerns about this process and the developer has proposed the following solutions to be implemented as a maintenance agreement to be filed with the final plat:

- Use the existing temporary basins as-is to meet the detention requirements for Lots 3 & 4.
- Calculations show the volume of detention required is equivalent to the volume provided in the temporary basins even though there is not a direct relationship of the drainage areas from the lots to each of the basins (volume is provided regardless of where the storm water is derived). So – no additional calculations are required as long as the following is done:
  - United Properties will maintain these basins until other arrangements are made, i.e. development of Outlot 'Y'.
  - If Outlot 'Y' is not developed within 10 years – United Properties shall convert these temporary basins into permanent detention basins.
  - If lots 1, 2, or 5 are developed before Outlot 'Y' they would

need to prepare additional detention calculations and increase the temporary basin volumes or add additional temporary basins or convert to permanent basins.

- All temporary basins shall be converted to permanent detention basins that meet City requirements no later than October 2026.

**UTILITIES: WATER,  
SANITARY SEWER, STORM  
SEWER.**

Adequate services are provided to the site and detailed on the site plan.

**STAFF ANALYSIS:**

Overall the site plan meets or exceeds the City's requirements for development of a C-2 parcel. The staff raised concerns over the temporary detention basin on Outlot Y. The developer proposed several measures that addressed the staff concerns. Staff is comfortable with the solution as long as the proper agreement is filed with the Final Plat of the Marketplace at Echo Valley.

**PLANNING & ZONING  
RECOMMENDATION:**

Therefore, the Planning and Zoning Commission recommends that the request for the Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley be approved with the following conditions:

- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

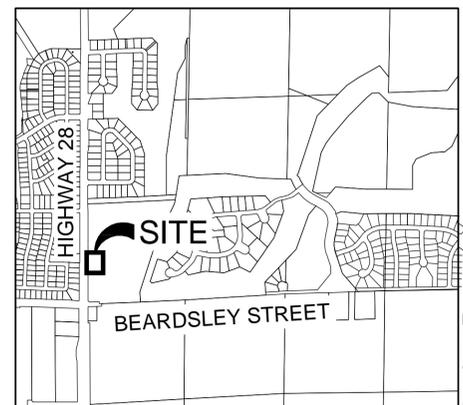
<p><input checked="" type="checkbox"/> Resolution _____ Ordinance ____ Contract _____ Other (Specify) _____</p> <p>Funding Source: _____ NA _____</p> <p>APPROVED FOR SUBMITTAL _____ Luke Nelson _____ City Manager</p>
--

# SITE PLAN FOR: MERCY CLINIC

## NORWALK, IOWA

### VICINITY MAP

NOT TO SCALE



### LEGAL DESCRIPTION

LOT 4, MARKETPLACE AT ECHO VALLEY, IN THE CITY OF NORWALK, WARREN COUNTY, IOWA

### ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT  
PARCEL J - C-2

### PROJECT SITE ADDRESS

9421 MARKETPLACE DRIVE

### PROPOSED USE

PROFESSIONAL OFFICE SPACE

### INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

### GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

### OWNER / APPLICANT

UNITED PROPERTIES INVEST CO LC  
C/O MICHAEL COPPOLA  
4521 FLEUR DRIVE, SUITE C  
DES MOINES, IOWA 50321

### DEVELOPMENT SUMMARY

AREA: 1.71 ACRES (74,285 SF)

MIN LOT AREA: 20,000 SF

MIN LOT WIDTH: 100'

FRONT SETBACK: 30'

SIDE SETBACK: 10'

REAR SETBACK: 10'

HEIGHT: 50'

\* 20' MINIMUM SEPARATION BETWEEN BUILDINGS IN A COMPLEX.

\*\* PRINCIPAL STRUCTURE MAY BE 45' IN HEIGHT BUT NOT EXCEED 3 FLOORS ABOVE GRADE.

PARKING: 1 SPACE PER 275 SF  
TOTAL REQUIRED = 54  
TOTAL PROVIDED = 90

### NOTES

- NO LOTS SHALL HAVE DIRECT ACCESS TO HIGHWAY 28 OR BEARDSLEY STREET.
- ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.

### ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: KEITH WEGGEN  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### ARCHITECT

S V P A ARCHITECTS INC.  
1466 28TH STREET, SUITE 200  
WEST DES MOINES, IOWA 50266  
PH. (515) 327-5990

### DATE OF SURVEY

SEPTEMBER, 2015

### BENCHMARKS

BM#1  
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND MASTELLER ROAD. ELEVATION=895.14

BM#2:  
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02

### SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 09/23/16  
-SITE PLAN SUBMITTAL TO CITY #2: 10/05/16



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



**CIVIL DESIGN ADVANTAGE**  
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1507367

REFER TO GEOTECHNICAL REPORT FOR GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

**PRELIMINARY**

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2011  
PAGES OR SHEETS COVERED BY THIS SEAL:  
1-4

FILE: H:\1507367\NORWALK LOT 4 SITE PLAN\1507367-SITE LOT 4 - REVISED PARRKING.DWG  
PLOT DATE: 10/05/2016 2:03 PM  
PLOT BY: KEVIN LUNDHOLM

LOT 4 - MERCY CLINIC

DATE	10/05/16
REVISIONS	
SITE PLAN SUBMITTAL #2	
SITE PLAN SUBMITTAL #1	09/23/16

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410



NORWALK, IOWA

**MERCY CLINIC**  
 DIMENSION PLAN

**GENERAL NOTES**

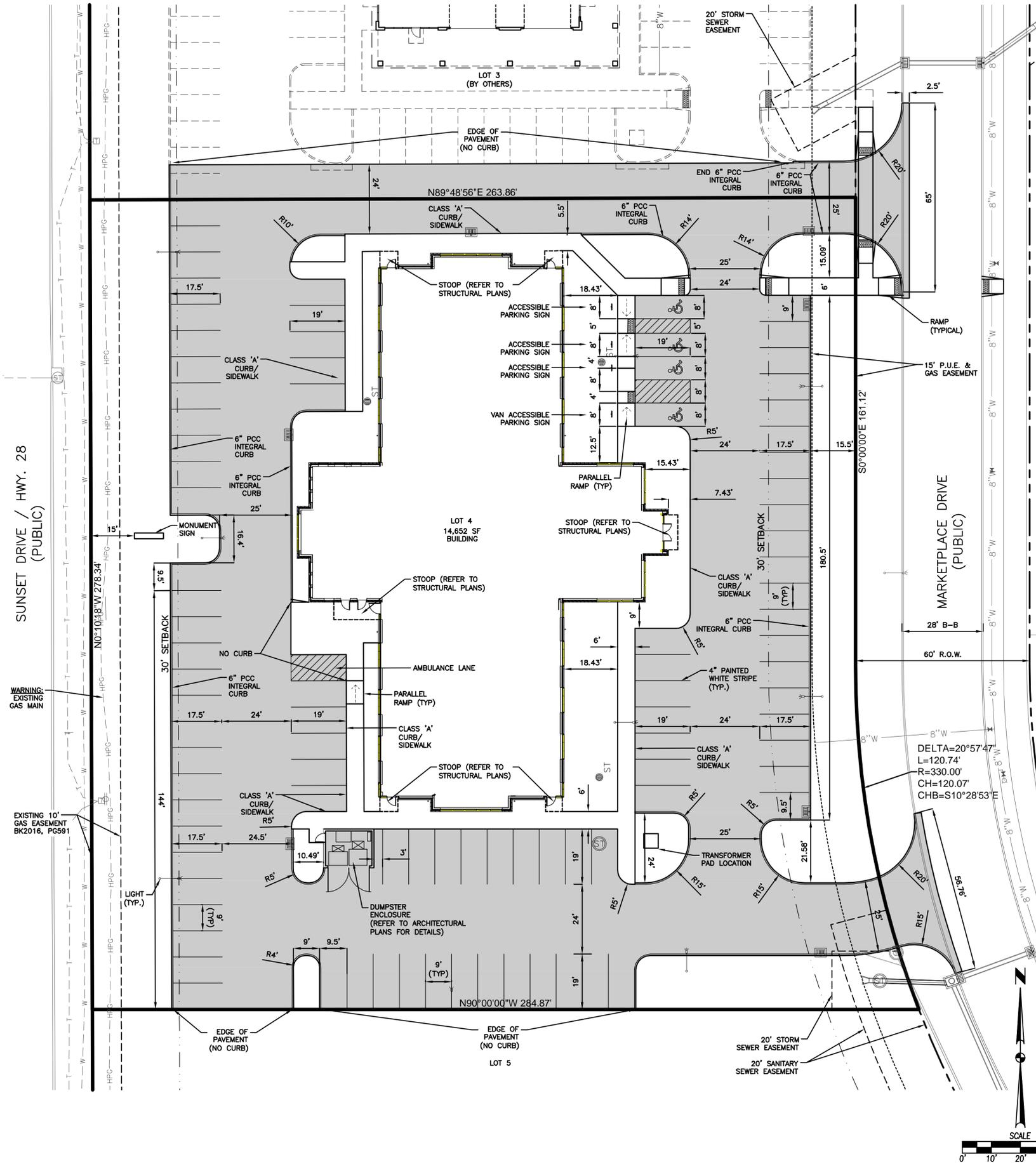
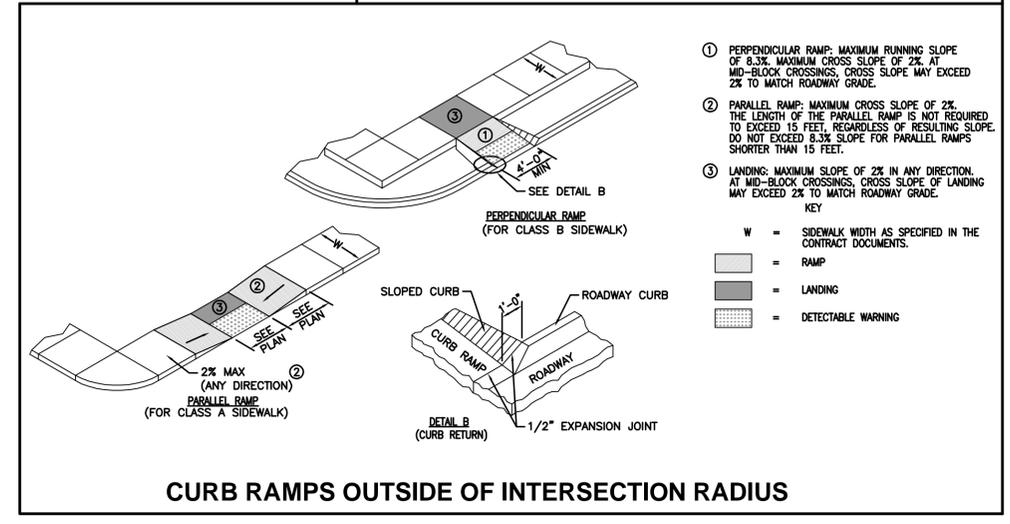
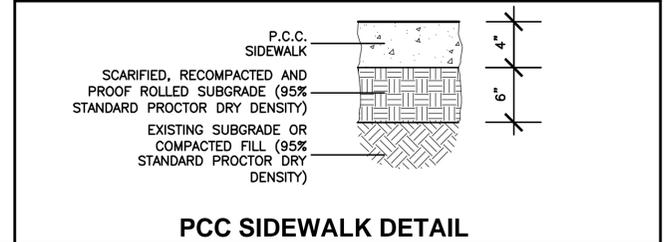
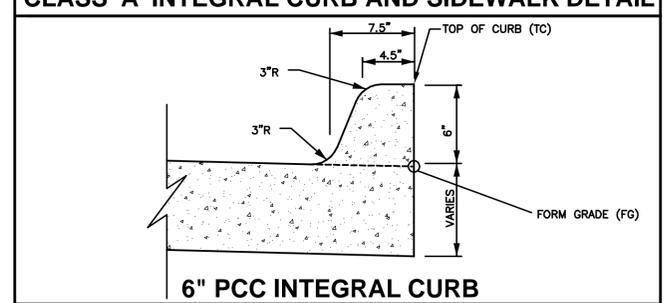
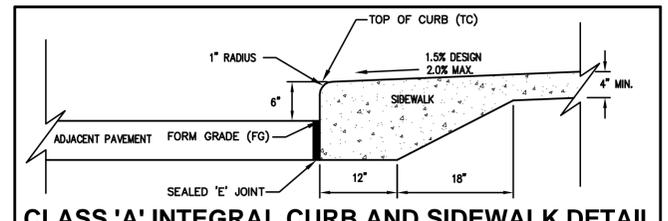
1. THE 2016 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

**TRAFFIC CONTROL NOTES**

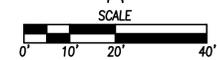
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

**PAVEMENT THICKNESS**

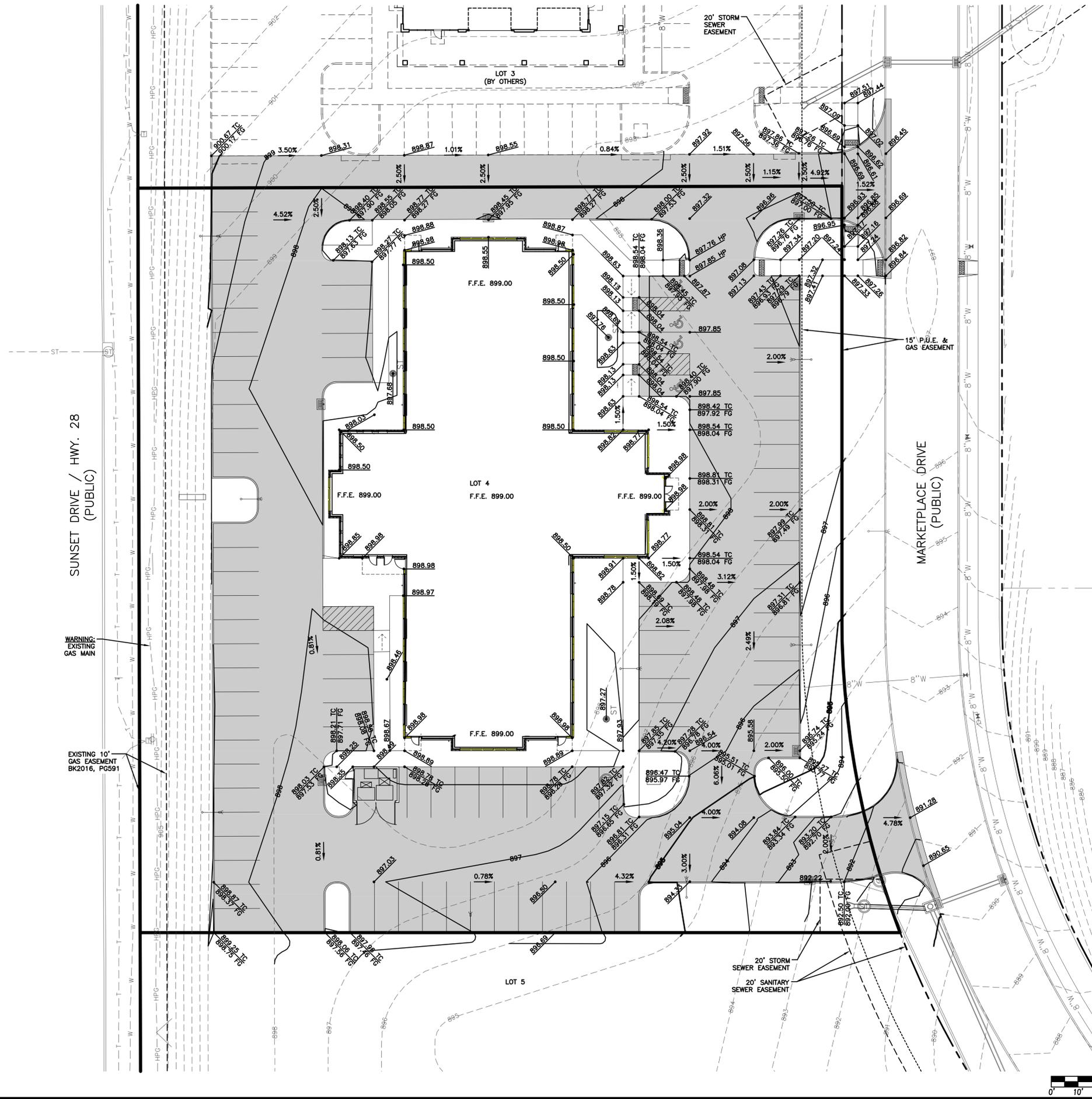
- |                                  |           |
|----------------------------------|-----------|
| 1. SIDEWALKS                     | 4" P.C.C. |
| 3. PARKING STALLS                | 6" P.C.C. |
| 4. DRIVE AISLES                  | 7" P.C.C. |
| 5. TRASH ENCLOSURE AND FRONT 20' | 8" P.C.C. |



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 PLOTTED BY: PAVAN UNDIKOLA, TECH

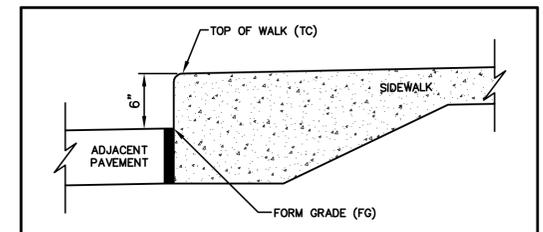


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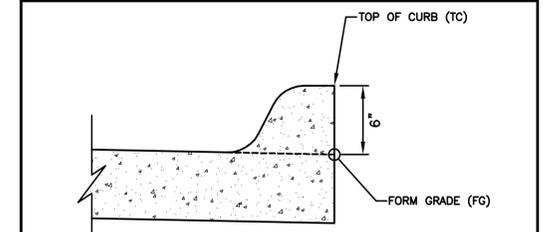


**GRADING NOTES**

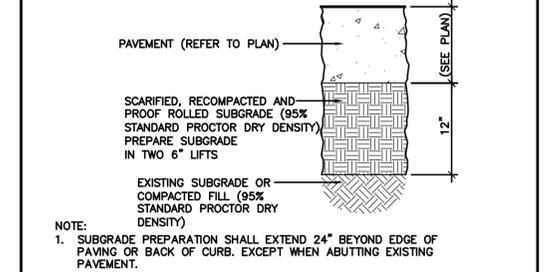
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPAID AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:  
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



**CLASS "A" INTEGRAL CURB AND SIDEWALK SPOT ELEVATION REFERENCE DETAIL**



**INTEGRAL 6" STANDARD CURB SPOT ELEVATION REFERENCE DETAIL**



**12" SUBGRADE PREPARATION DETAIL**

DATE	REVISIONS
10/05/16	
09/23/16	

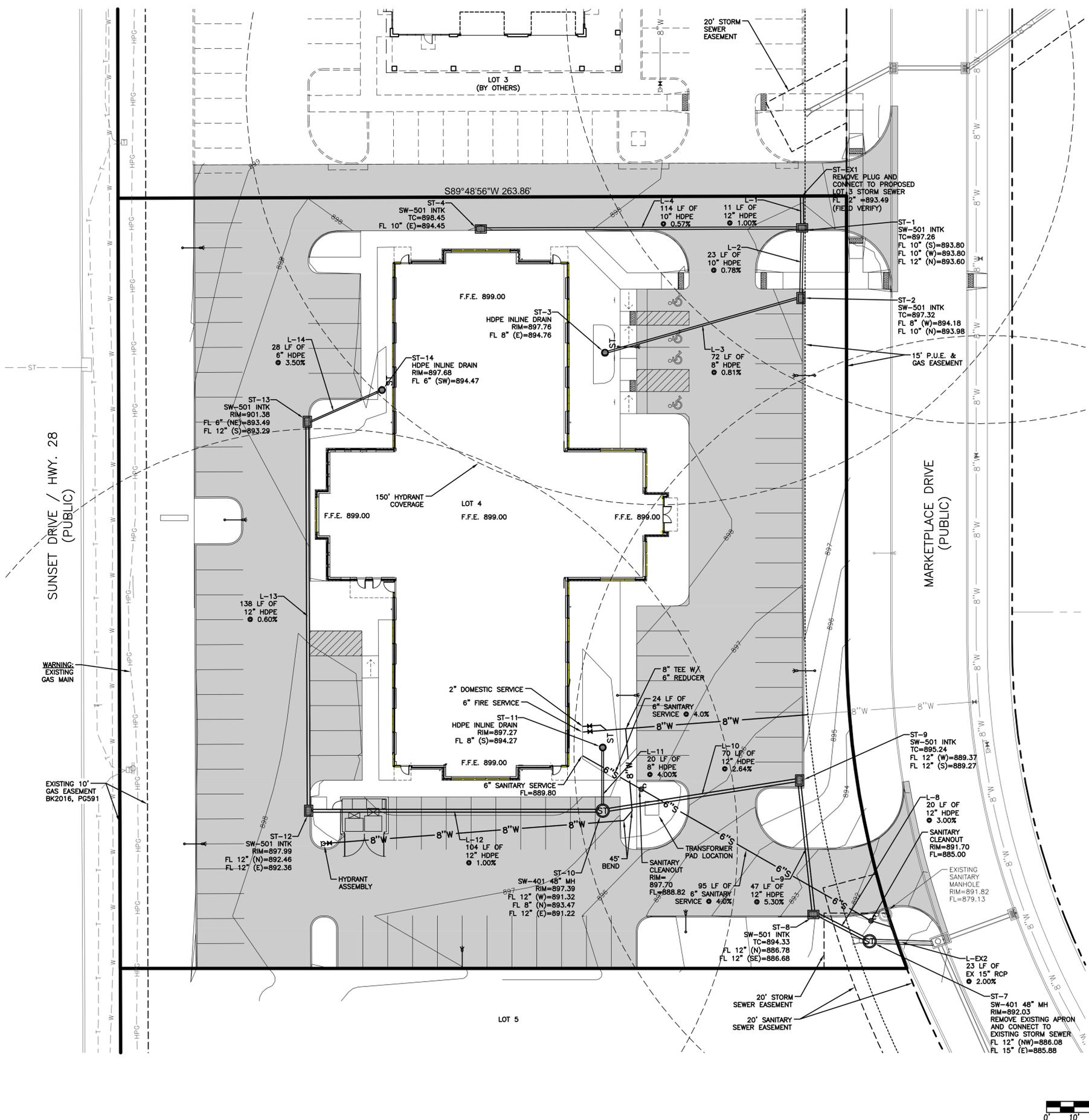
3405 S.E. CROSSROADS DRIVE, SUITE G  
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 PHONE: (515) 369-4400 FAX: (515) 369-4410



NORWALK, IOWA

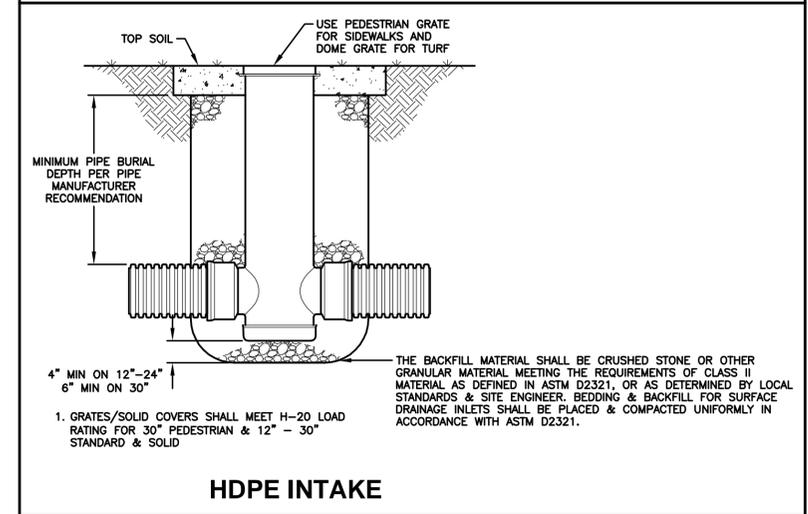
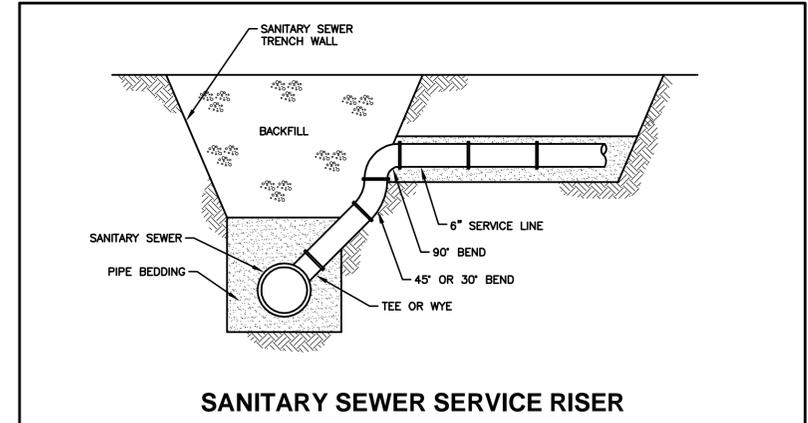
**MERCY CLINIC  
 GRADING PLAN**

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 PLOTTED BY: PAVAN UNDIKOLA, TECH

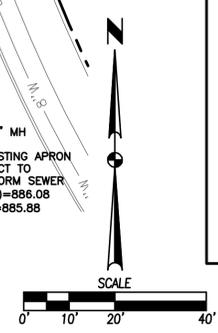


**UTILITY NOTES**

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.



1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" - 30" STANDARD & SOLID



DATE	10/05/16
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SITE PLAN SUBMITTAL #2	09/23/16
SITE PLAN SUBMITTAL #1	

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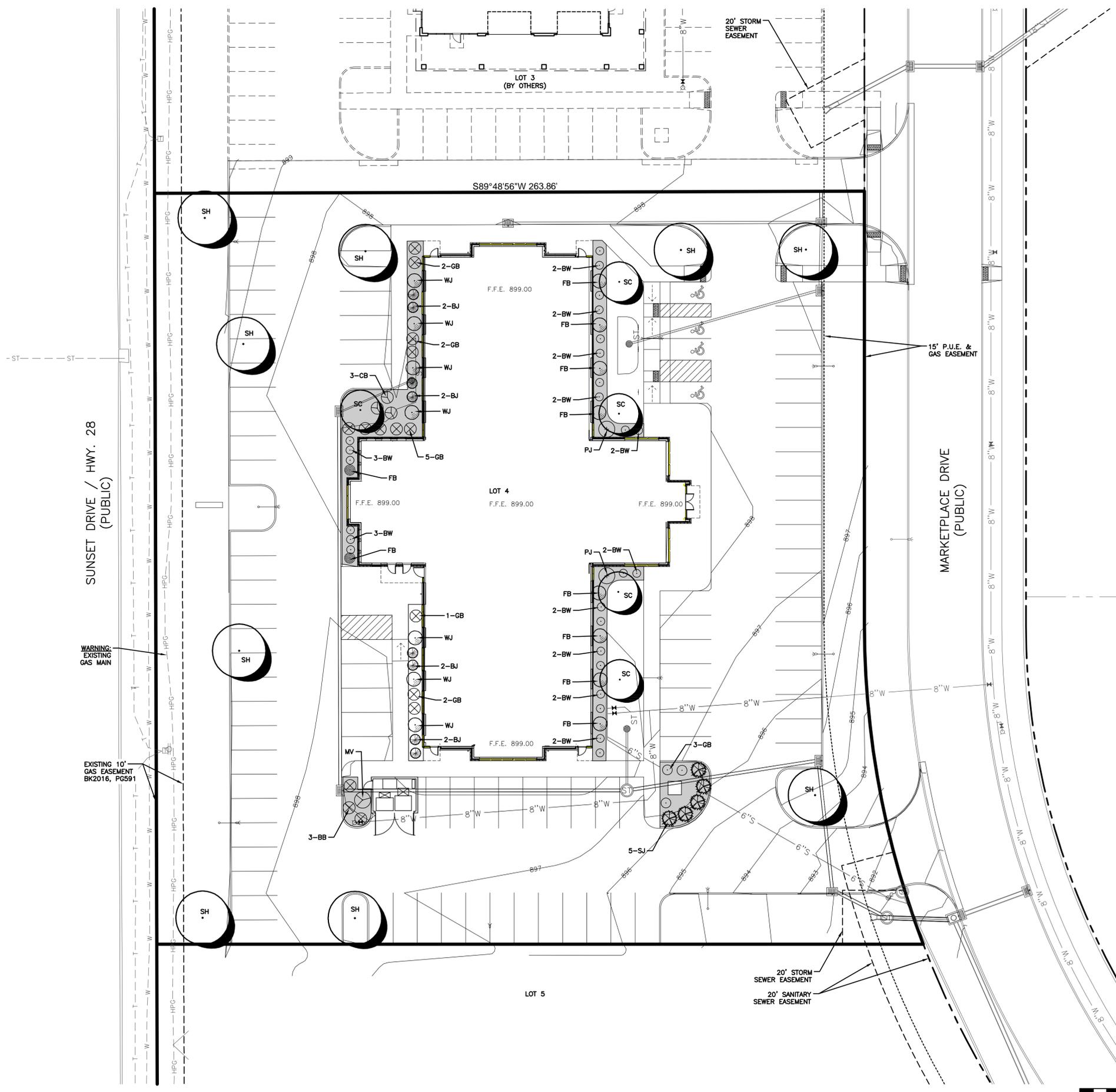
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 ENGINEER: \_\_\_\_\_

**MERCY CLINIC**  
 CIVIL DESIGN ADVANTAGE  
 NORWALK, IOWA

**UTILITY PLAN**

4 / 5  
 1507367

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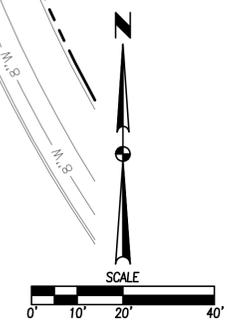


- ### LANDSCAPE NOTES
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
  - THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  - TYPE, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
  - ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
  - SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
  - BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
  - 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
  - SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
  - ALL EDGING SHALL BE 4"(min) ALUMINUM EDGING.
  - PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
  - ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
  - CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
  - CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

- ### LANDSCAPE REQUIREMENTS
- 1 TREE PER 1,500 SF OR REQUIRED OPEN SPACE AND  
 1 SHRUB PER 1,000 SF OR REQUIRED OPEN SPACE .
- #### PLANT SIZE REQUIREMENTS
- TREES:  
 40% OF TREES = 2"-2.5" CALIPER  
 BALANCE = 8" HEIGHT DECIDUOUS OR 6' HEIGHT CONIFEROUS
- SHRUBS:  
 18" MINIMUM HEIGHT OR 1 GALLON CONTAINER
- OPEN SPACE REQUIRED = 18,571 SF (25%)  
 OPEN SPACE PROVIDED = 35,511 SF (48%)
- TREES REQUIRED = 13  
 SHRUBS REQUIRED = 19
- TREES PROVIDED = 14  
 SHRUBS PROVIDED = 80

### PLANT SCHEDULE

CODE	QTY	OVERSTORY TREES	SIZE	COND
SH	19	SHADEMASTER HONEYLOCUST	2" CAL	B&B
		GLEDTISIA TRICANTHAS INERMIS 'SHADEMASTER'		
CODE	QTY	ORNAMENTAL TREES	SIZE	COND
SC	5	SPRING SNOW CRAB	1.5" CAL	B&B
		MALUS X 'SPRING SNOW'		
CODE	QTY	SHRUBS	SIZE	COND
BB	3	DWARF BURNING BUSH	18" HT.	CONT
PJ	2	P.M. RHODODENDRON	18" HT.	CONT
GR	15	GOLDEN BARBERRY	18" HT.	CONT
CB	3	ROSE GLOW BARBERRY	18" HT.	CONT
MV	1	MOHICAN VIBURNUM	18" HT.	CONT
BW	26	WINTERGREEN BOXWOOD	18" HT.	CONT
SJ	5	SEA GREEN JUNIPER	18" HT.	CONT
BJ	8	BUFFALO JUNIPER	18" HT.	CONT
WJ	7	WELCH JUNIPER	18" HT.	CONT
FB	10	FINELINE BUCKTHORN	18" HT.	CONT



REVISIONS

DATE

10/05/16

09/23/16

SITE PLAN SUBMITTAL #2

SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH:

ENGINEER:

**CIVIL DESIGN ADVANTAGE**

NORWALK, IOWA

**MERCY CLINIC**

**LANDSCAPE PLAN**

5/5

1507367

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PROJECT INFORMATION  
**MERCY NORWALK**  
MARKETPLACE DRIVE  
NORWALK, IOWA

DRAWING ISSUE INFORMATION  
ISSUE FOR: DESIGN DEVELOPMENT  
ISSUE DATE: 10/03/2016

REV DATE	REV

MANAGEMENT INFORMATION  
PROJECT NO: 16046  
PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

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SHEET TITLE  
**FLOOR PLAN**

SHEET NUMBER  
**A100**



**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

- FLOOR PLAN GENERAL NOTES:**
- THESE GENERAL NOTES APPLY TO ALL FLOOR PLAN SHEETS.
  - ALL DIMENSIONS ARE TO FACE OF FINISHED WALLS, FACE OF BRICK WALLS, OR CENTERLINE OF STRUCTURE / COLUMNS, UNLESS NOTED OTHERWISE.
  - FLOOR SPOT ELEVATIONS ARE SHOWN THUS +0'-0" ON THE FLOOR PLANS. FIRST FLOOR ELEVATION 899.00'. GRADE SHOWN ON CIVIL DRAWINGS.
  - PROVIDE BRACING AT TOP OF NONLOAD BEARING WALLS.
  - THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING CONTRACTOR WITH ROUGH-IN INFORMATION AND MOUNTING HEIGHTS NECESSARY TO ACCOMMODATE INSTALLATION OF OWNER FURNISHED AND INSTALLED, OR OWNER FURNISHED - CONTRACTOR INSTALLED ITEMS.
  - GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL PENETRATION REQUIREMENTS AND CHASE SIZES WITH MECHANICAL CONTRACTOR FOR COORDINATION INTO THE CONSTRUCTION OF WALL, FLOOR, CEILING AND ROOF ASSEMBLIES.
  - DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE NOMINAL. VERIFY AND ALLOW RECOMMENDED SHIM AND SEALANT GAPS AS REQUIRED AT DOOR AND WINDOW FRAMES.
  - INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD IN RESTROOMS AND MECHANICAL ROOMS.
  - CONTRACTOR SHALL PROVIDE A CONCRETE STOOP WITH POSITIVE DRAINAGE AWAY FROM BUILDING. CONSTRUCTED ON FROST FOOTINGS AT ALL EXTERIOR DOOR LOCATIONS. SEE PLANS AND STRUCTURAL SHEETS FOR ADDITIONAL DETAIL.
  - CONTRACTOR TO COORDINATE LOCATION OF FLOOR BOX OUTLETS WITH OWNER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO COORDINATE LOCATION OF ELECTRICAL SWITCHES AND OUTLETS IN EXAM ROOMS, TREATMENT ROOMS, LABORATORY, AND DOCTOR/NURSE OFFICES (INCLUDING STANDUP STATIONS). SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - PROVIDE BACKING AS REQUIRED AT HEIGHT/WEIGHT STATIONS FOR GRAB BARS. CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER.
  - CONTRACTOR TO PROVIDE BLOCKING IN EXAM ROOMS FOR WALL MOUNTED EQUIPMENT. CONFIRM LOCATIONS AND REQUIREMENTS WITH OWNER.
  - OWNER PROVIDED PRINTER
  - PROVIDE GYPSUM BOARD CONTROL JOINTS @ 20' - 0" O.C. MAXIMUM. COORDINATE LOCATIONS WITH ARCHITECT.

- FLOOR PLAN KEY NOTES:**
- ROOF HATCH AND ACCESS LADDER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. SEE S/A101 FOR ROOF LADDER DETAILS.
  - AUTOMATIC DOOR OPERATOR. CONFIRM EXACT LOCATIONS WITH ARCHITECT.
  - CONTRACTOR TO COORDINATE LOCATION, ELECTRICAL REQUIREMENTS, AND BACKING REQUIREMENTS OF TIMECARD SYSTEM WITH OWNER. RECESS TIMECARD SO NOT TO PROTRUDE MORE THAN 4" FROM WALL SURFACE. INSTALL CONTROLS @ 48" MAX AFF. COORDINATE WITH OWNER AND ARCHITECT.
  - WATER FOUNTAIN OR WATER COOLER. SEE M/E/P DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - MOP SINK. PROVIDE FRP PANELS AROUND SINK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  - T.V. BY OWNER. CONTRACTOR TO PROVIDE NECESSARY BLOCKING FOR BRACKET.
  - CONTRACTOR TO PROVIDE BLOCKING FOR OWNER SUPPLIED EQUIPMENT MOUNTED TO THE WALL. VERIFY LOCATION WITH OWNER.
  - CUBICLE CURTAIN AND TRACK - SEE SPEC.

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CLIENT LOGO



PROJECT INFORMATION

**MERCY NORWALK**  
MARKETPLACE DRIVE  
NORWALK, IOWA

DRAWING ISSUE INFORMATION

ISSUE FOR: DESIGN DEVELOPMENT

ISSUE DATE: 10/03/2016

REV DATE	REV

MANAGEMENT INFORMATION

PROJECT NO: 16046

PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

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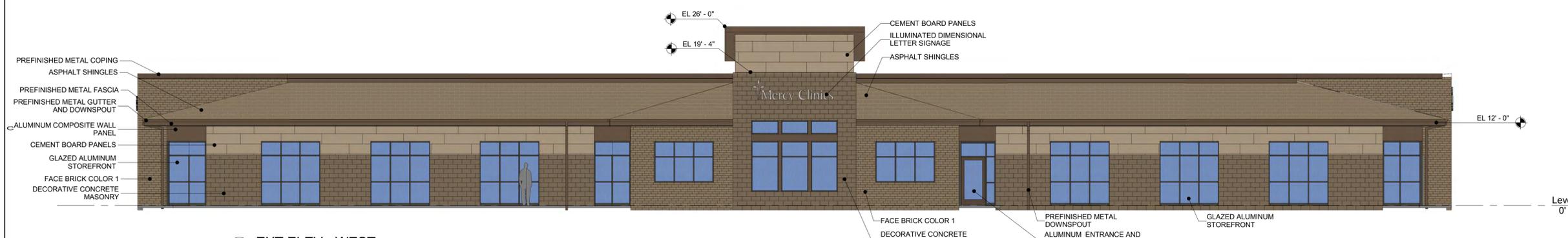
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**EXTERIOR ELEVATIONS**

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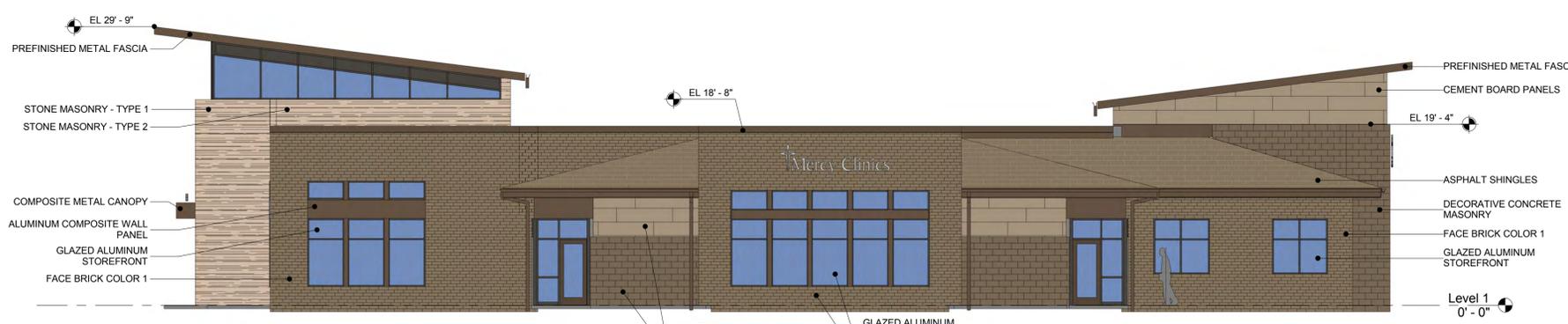
**A200**



**1 EXT ELEV - EAST**  
SCALE: 1/8" = 1'-0"



**2 EXT ELEV - WEST**  
SCALE: 1/8" = 1'-0"



**3 EXT ELEV - NORTH**  
SCALE: 1/8" = 1'-0"



**4 EXT ELEV - SOUTH**  
SCALE: 1/8" = 1'-0"

MATERIAL	COLOR	DESCRIPTION
DECORATIVE MASONRY	HICKORY	8X8X16 BURNISHED DECORATIVE CONCRETE MASONRY
BRICK 1	OXFORD GRAY	VELOUR, UTILITY BRICK
BRICK 2	CASTILE GRAY	VELOUR, UTILITY BRICK
STONE MASONRY	ANAMOSA LIMESTONE	
METAL FASCIA	MEDIUM BRONZE	
METAL COPING	MEDIUM BRONZE	
METAL SOFFIT	MEDIUM BRONZE	
COMPOSITE METAL	MEDIUM BRONZE	
COMPOSITE METAL PANEL CANOPY	MEDIUM BRONZE	
ASPHALT SHINGLES	MISSION BROWN	
STOREFRONT	MESA BROWN	ALUMINIUM FRAMES
	CLEAR	GLAZING

WALL COMPOSITION (SF):

	GLASS	FACE BRICK	DECORATIVE MASONRY	LIMESTONE	FIBER CEMENT	BUILDING TOTAL
<b>EAST</b>	1179	542	458	87	436	2702
<b>WEST</b>	940	484	499	0	588	2511
<b>NORTH</b>	576	944	300	237	312	2369
<b>SOUTH</b>	573	947	300	237	312	2369
<b>MATERIAL TOTAL</b>	3268	2917	877	561	2328	9951
	32%	29%	16%	6%	16%	

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**S V P A**  
Architects, Inc.

1466 28th Street, Suite 200  
West Des Moines, Iowa 50266  
515.327.5990 Fax: 515.327.5991



1 EXT - EAST FACE  
SCALE:



2 EXT - SOUTH FACE  
SCALE:



3 EXT - WEST FACE  
SCALE:

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CLIENT LOGO



PROJECT INFORMATION

**MERCY NORWALK**  
MARKETPLACE DRIVE  
NORWALK, IOWA

DRAWING ISSUE INFORMATION

ISSUE FOR: DESIGN DEVELOPMENT

ISSUE DATE: 10/03/2016

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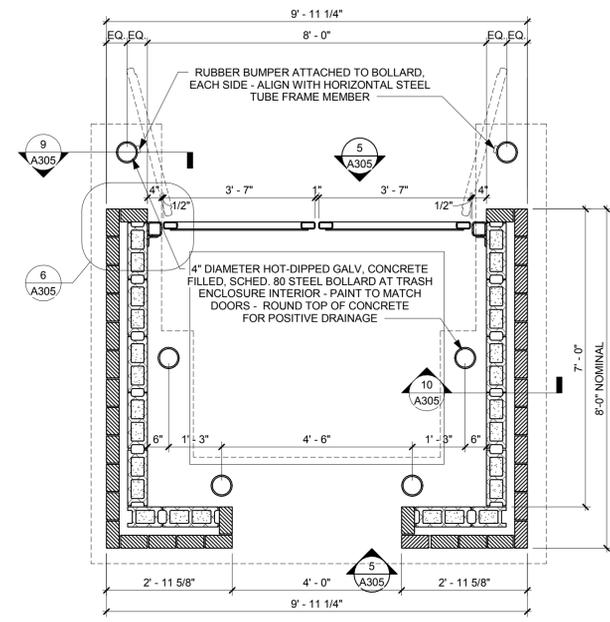
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SHEET TITLE  
EXTERIOR VIEWS

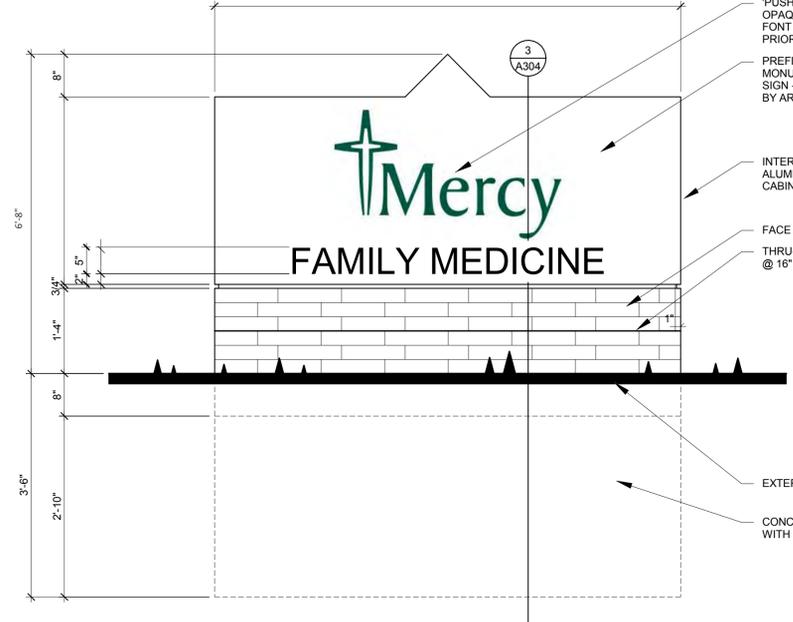
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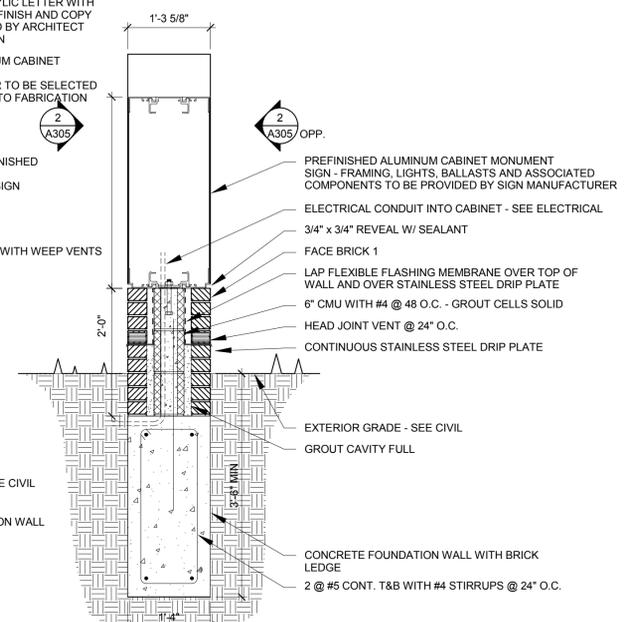
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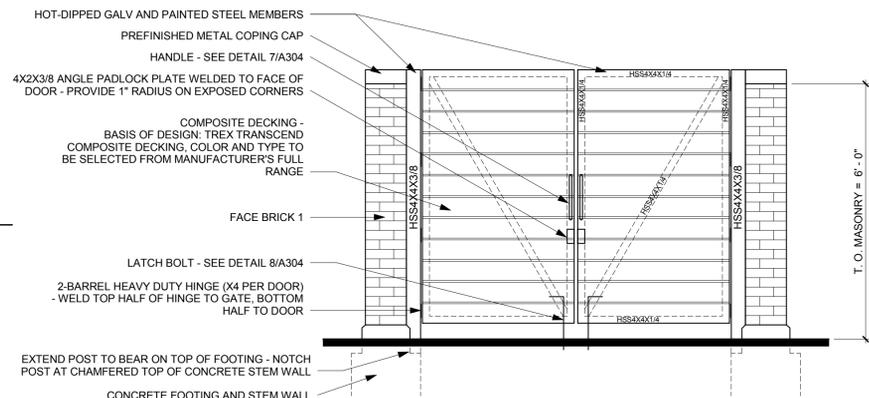
**1 TRASH ENCLOSURE PLAN**  
1/2" = 1'-0"



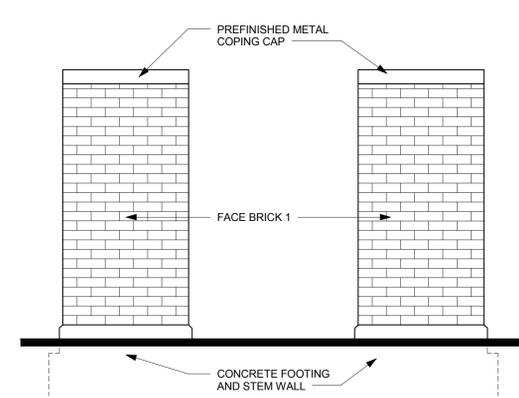
**2 MONUMENT SIGN ELEVATION (BOTH SIDE SIMILAR)**  
3/4" = 1'-0"



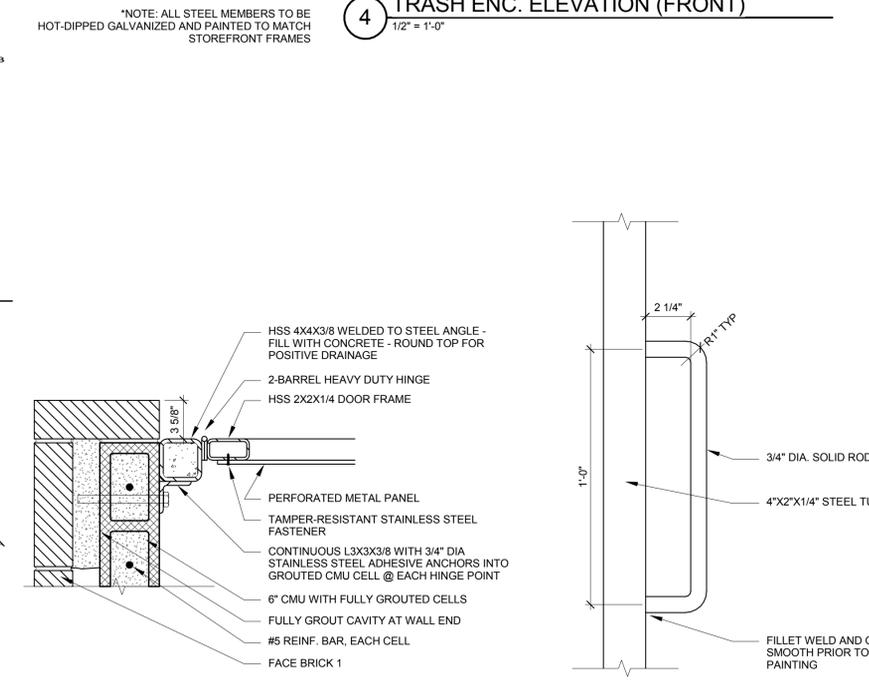
**3 MONUMENT SIGN SECTION**  
3/4" = 1'-0"



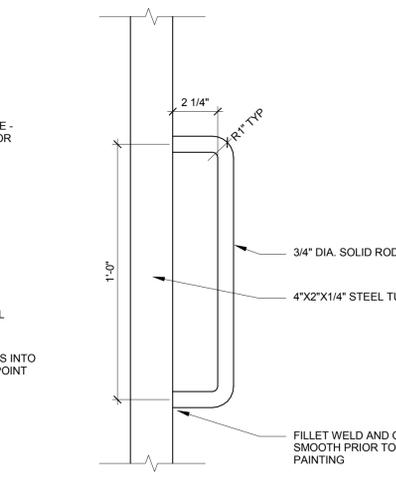
**4 TRASH ENC. ELEVATION (FRONT)**  
1/2" = 1'-0"



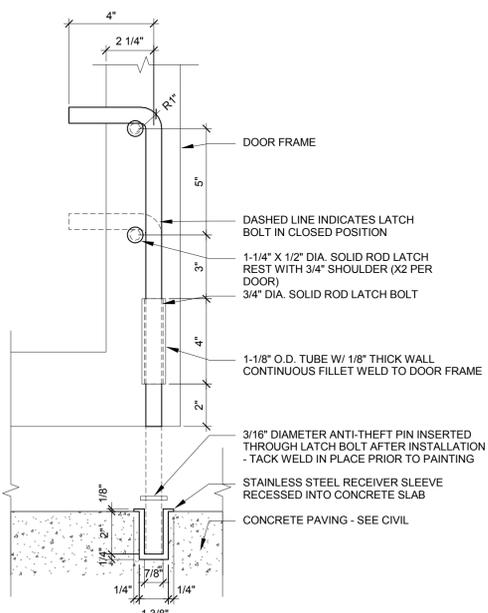
**5 TRASH ENCLOSURE ELEVATION (BACK)**  
1/2" = 1'-0"



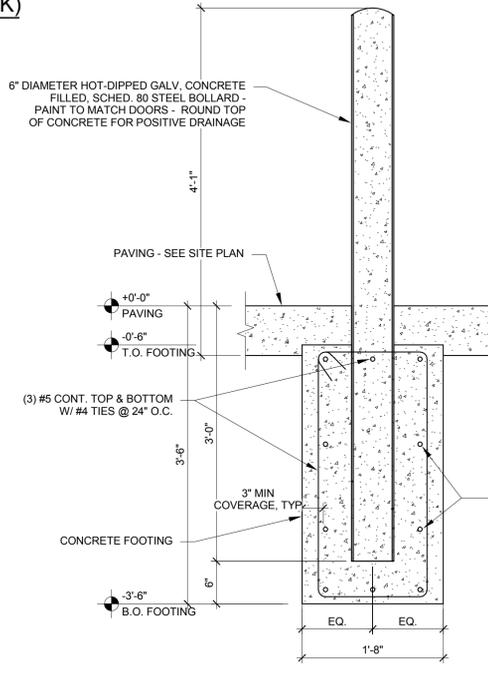
**6 DOOR FRAME/HINGE DETAIL**  
1 1/2" = 1'-0"



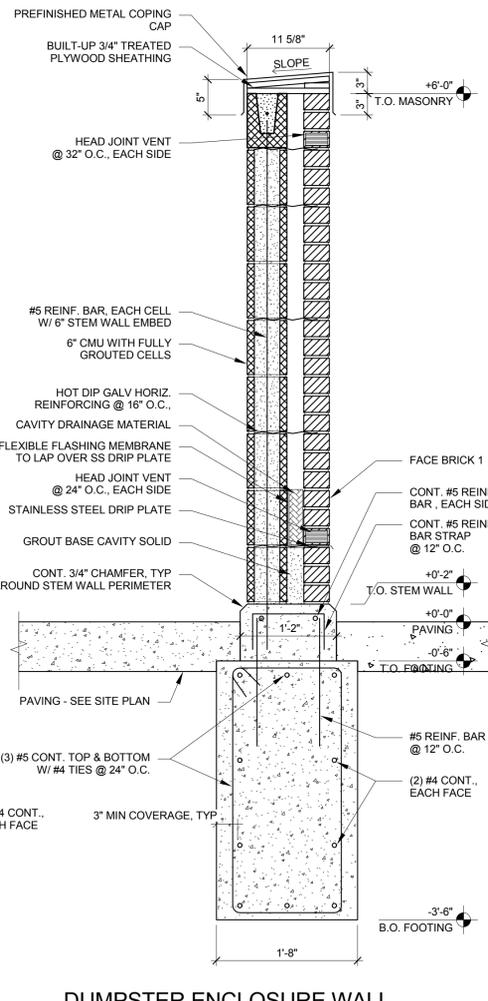
**7 DOOR HANDLE DETAIL**  
3" = 1'-0"



**8 LATCH BOLT DETAIL**  
3" = 1'-0"



**9 BOLLARD DETAIL**  
1" = 1'-0"



**10 DUMPSTER ENCLOSURE WALL SECTION**  
1" = 1'-0"

CONSULT 01 TYPE  
CONSULT 01 NAME  
CONSULT 01 ADDRESS  
CONSULT 01 CITY/STATE/ZIP  
CONSULT 01 TEL FAX

CONSULT 02 TYPE  
CONSULT 02 NAME  
CONSULT 02 ADDRESS  
CONSULT 02 CITY/STATE/ZIP  
CONSULT 02 TEL FAX

CONSULT 03 TYPE  
CONSULT 03 NAME  
CONSULT 03 ADDRESS  
CONSULT 03 CITY/STATE/ZIP  
CONSULT 03 TEL FAX

CONSULT 04 TYPE  
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CONSULT 04 TEL FAX

CONSULT 05 TYPE  
CONSULT 05 NAME  
CONSULT 05 ADDRESS  
CONSULT 05 CITY/STATE/ZIP  
CONSULT 05 TEL FAX

CONSULT 06 TYPE  
CONSULT 06 NAME  
CONSULT 06 ADDRESS  
CONSULT 06 CITY/STATE/ZIP  
CONSULT 06 TEL FAX



PROJECT INFORMATION

**MERCY NORWALK**  
MARKETPLACE DRIVE  
NORWALK, IOWA

DRAWING ISSUE INFORMATION

ISSUE FOR: DESIGN DEVELOPMENT

ISSUE DATE: 10/03/2016

REV DATE	REV

MANAGEMENT INFORMATION

PROJECT NO: 16046

PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

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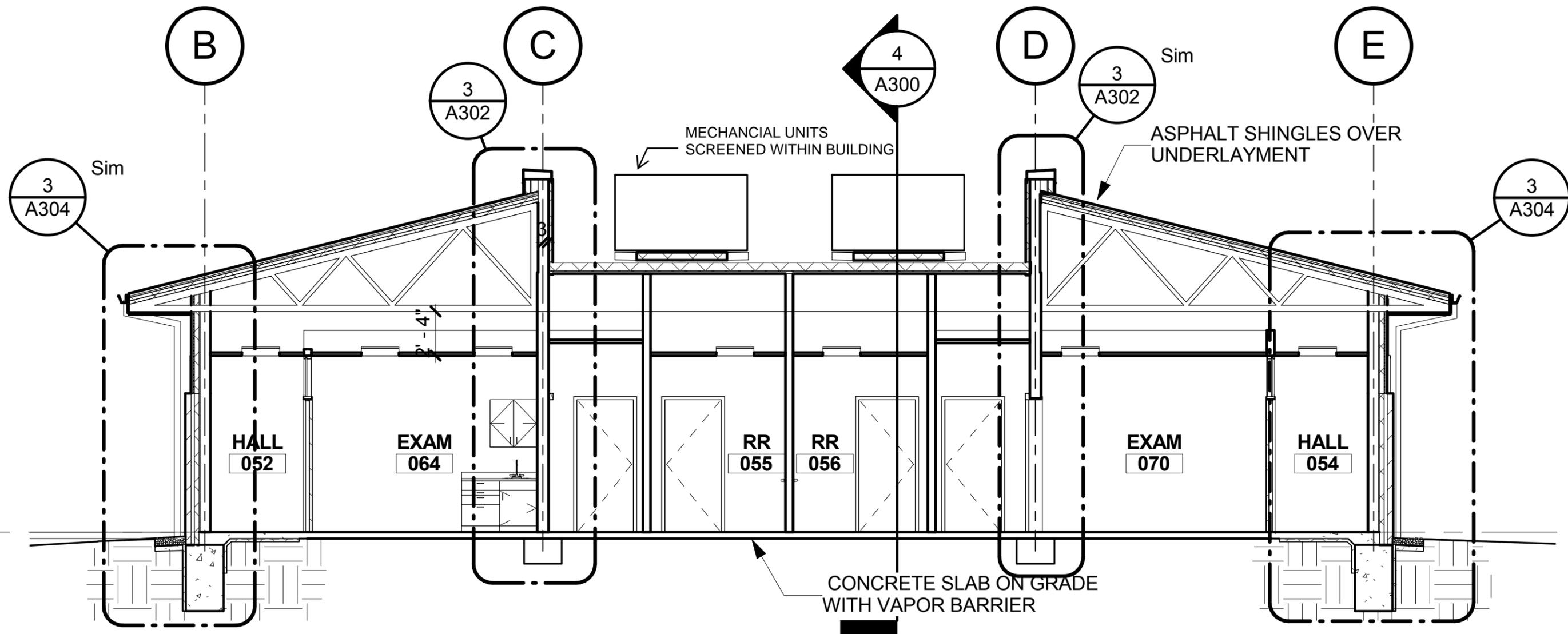
SHEET TITLE

**TRASH ENCLOSURE & MONUMENT SIGN**

SHEET NUMBER

**A305**

NOT FOR CONSTRUCTION



Level 1  
0' - 0"

**SECTION 1**

RESOLUTION NO

**A RESOLUTION APPROVING THE MERCY CLINIC SITE PLAN FOR  
LOT 4 OF THE MARKETPLACE AT ECHO VALLEY**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on October 10, 2016 and recommends approval of the Site Plan; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 20th day of October, 2016.

---

Tom Phillips, Mayor

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ATTEST: Jodi Eddleman, City Clerk

ROLL CALL VOTE:	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Item No. 13  
For Meeting of 10.20.16

**ITEM TITLE:** Resolution for Consideration Approving Engineering Services for Founder's District  
Water Improvements #2  
**CONTACT PERSON:** Tim Hoskins, Public Works Director

**SUMMARY EXPLANATION & HISTORY:**

A large amount of the water main system between North Avenue and Wright Road and east of Sunset Drive consist of small diameter pipe. Many are 2" and 4" in diameter. These small pipes limit our ability to provide fire protection which may impact our Insurance Service Organization (ISO) ratings. These pipes also provide challenges in meeting water quality standards due to their size and several dead end lines. Some of these pipes are made of a material called "Transite" which is a combination of asbestos and concrete, popular in the 1940s and 1950s. Production was banned in the early 1970s by the EPA due to health concerns. Over time this product will deteriorate making repairs very difficult.

The area identified for this next project is on Main Street from School Avenue south to Wright Road. The existing main is a 4" diameter main with another 2" parallel line from Lewis Avenue south to Wright Road. We have experienced several main breaks in this segment of pipe. This proposed project will also connect to the newly installed 8" mains on School Avenue and Pine Avenue.

**FUNDING:**

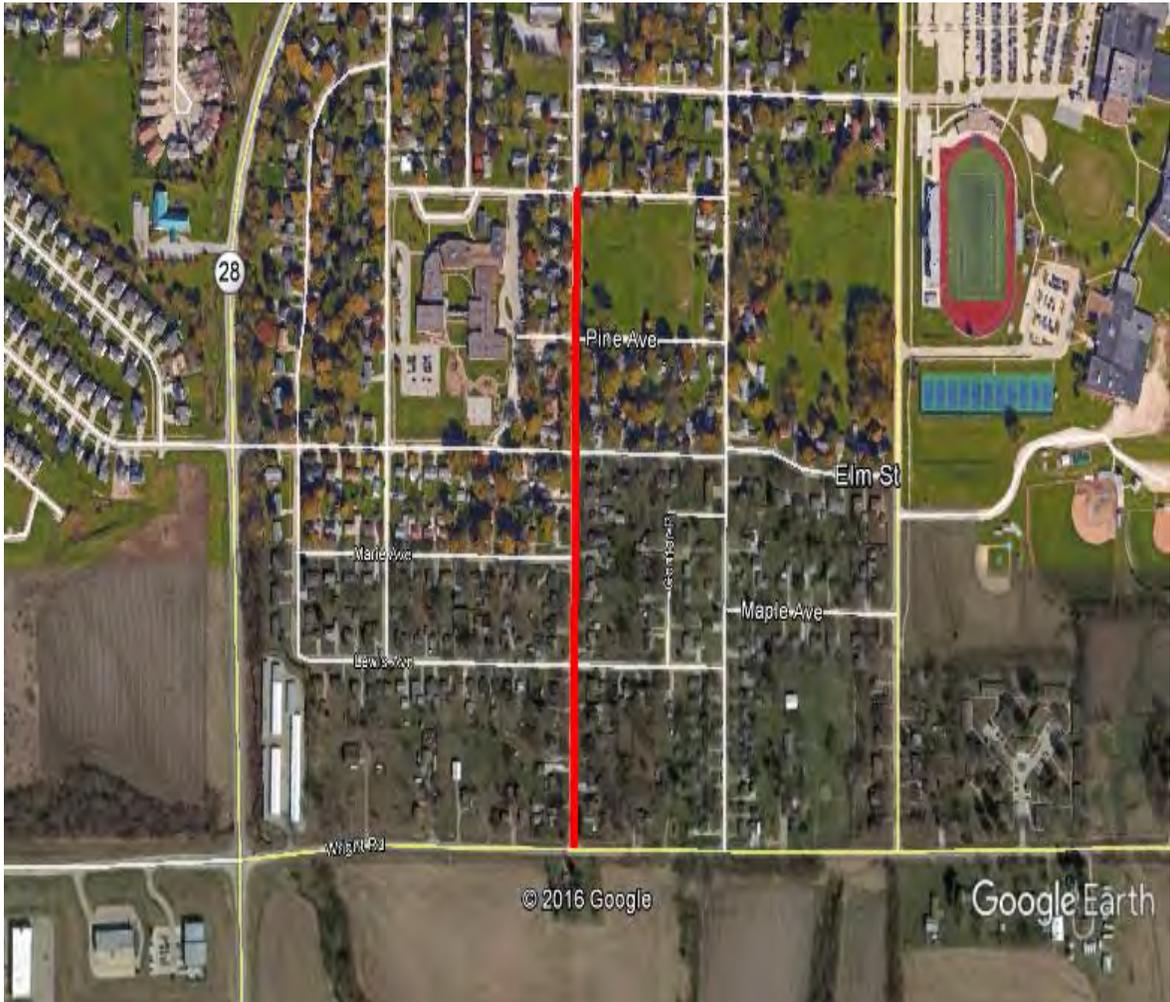
The funding for this project will come from water utility fees. The engineering portion for design, general services and inspection and staking is estimated at \$64,600.00.

**ALTERNATIVES:**

1. Approve the resolution proceeding with Veenstra & Kimm Inc.
2. Seek engineering services from another firm.
3. Postpone the project to a future date.

**RECOMMENDATION:**

Staff recommends Alternative 1



Much of the existing water main is under or next to the street. It is anticipated that the new main will be located in the green space next to the street. This line will serve as a trunk system allowing future replacements to branch off in each direction to improve overall fire protection and circulation.

## AGREEMENT

### NORWALK, IOWA FOUNDER'S DISTRICT WATER MAIN REPLACEMENT PHASE 2 PROFESSIONAL ENGINEERING SERVICES

**THIS AGREEMENT**, made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by and between the **CITY OF NORWALK, IOWA**, hereinafter referred to as the **Owner** or **City**, party of the first part, and **VEENSTRA & KIMM, INC.**, a corporation organized and existing under the laws of the State of Iowa, party of the second part, hereinafter referred to as the **Engineers**,

**WITNESSETH, THAT WHEREAS**, the City has prepared a Capital Improvement Plan that identifies old and undersized water mains in the original town area that are in need of replacement, and

**WHEREAS**, the City constructed the first phase of water distribution system upgrades identified in the plan in 2015, referred to as "Founder's District Water Main Replacement Phase 1", and

**WHEREAS**, the City desires to construct the second phase of water distribution system upgrades identified in the plan, consisting of replacement of approximately 1,900 linear feet of water main along Main Street, and

**WHEREAS**, the City desires to proceed with the design of the water main replacement project referred to as **Founder's District Water Main Replacement Phase 2**, or **Project**, and

**WHEREAS**, the City desires to retain the Engineers to provide design and construction engineering services on the Project, and

**NOW, THEREFORE**, it is hereby agreed by and between the parties hereto that the City does hereby retain the Engineers to act for and represent it in engineering matters on the Project. Such agreement shall be subject to the following terms, conditions and stipulations, to wit:

1. **SCOPE OF PROJECT**. It is understood and agreed the Project shall include the following improvements:
  - a. Design of approximately 1,900 feet of water main replacement on Main Street from Wright Road to School Street.

2. **DESIGN SURVEYS.** The Engineers shall undertake necessary topographic surveys for the design of the Project. The Engineers shall undertake sufficient survey to allow it to prepare easement plats and descriptions for the acquisition of the necessary temporary and permanent easements for construction of the Project.
3. **DESIGN CONFERENCES AND REPORTS.** The Engineers shall attend such design conferences with the City as may be necessary to make decisions as to the details of design of the Project. The Engineers shall make periodic progress reports to the City staff, as necessary.
4. **CONSULTATION ON DESIGN CONCEPT.** The Engineers during the course of the preliminary design shall consult with the City for a final determination of the design concept and location.
5. **PLANS AND SPECIFICATIONS.** The Engineers shall prepare such detailed plans and specifications as are reasonably necessary and desirable for construction of the Project. The specifications shall describe in detail the work to be done, materials to be used, and the location and extent of the construction required. Three (3) sets of final plans and specifications for each construction contract shall be submitted to the City.
6. **PLANS AND SPECIFICATIONS FOR BIDDERS.** The Engineers shall provide and distribute plans and specifications for bidders. In accordance with the provisions of the Code of Iowa the plans and specifications are to be provided and distributed to the bidders at no cost. In accordance with the provisions of the Code of Iowa the City shall reimburse the Engineers the actual cost for the plans and specifications and distribution thereof. The cost of plans and specifications and distribution of plans and specifications shall be in addition to the fees set forth herein for enumerated services.
7. **ESTIMATE OF COST.** The Engineers shall prepare an estimate of cost for the construction contract. The estimate of cost shall be based on the Engineers' best knowledge at the time of preparation of the estimate of cost. The Engineers shall not be responsible if the construction contract awarded for the Project varies from the Engineers' estimate of cost. The Engineers shall advise and assist the City, if necessary, in adjusting the scope and extent of the Project to allow the Project to be constructed within available budget limitations.
8. **ASSESSMENT PLATS AND SCHEDULES.** It is understood and agreed assessment plats and schedules shall not be a part of the services under this Agreement.
9. **EASEMENTS.** The Engineers shall identify and prepare the necessary easements for construction of the Project. Services for acquisition of easements is not included as a part of the services under this Agreement.

10. **PERMITS.** The Engineers shall assist the City in obtaining necessary permits for construction of the Project including the construction permit from the Iowa Department of Natural Resources. The City shall be responsible for the payment of permit fees.
11. **ADVERTISEMENT FOR BIDS.** The Engineers shall assist in the preparation of notice to bidders and shall provide plans and specifications for prospective bidders to approved contract plan rooms and other construction document depositories.
12. **BID OPENING AND AWARD OF CONTRACT.** The Engineers shall have a representative present when bids and proposals are opened for the construction contract, and shall prepare a tabulation of bids for the City and shall advise the City in making award of contract. After award of contract is made, the Engineers shall assist in the preparation of the necessary contract documents. During the bidding phase, the Engineers shall advise the City of the responsiveness of each proposal submitted. The Engineers shall not be responsible for advising the City as to the responsibility of any bidder.
13. **PRECONSTRUCTION CONFERENCE.** The Engineers shall conduct a preconstruction conference following award of the construction contract. Said conference to be attended by representatives of the City, the Engineers, the Contractor, and utility companies affected by the Project. At this conference a detailed construction schedule will be determined.
14. **GENERAL SERVICES DURING CONSTRUCTION.** The Engineers shall provide general services during construction including, but not limited to, the following:
  - a. Establishment of bench mark and/or base line to permit start of construction work.
  - b. Consult with and advise Owner.
  - c. Coordinate and provide work of testing laboratories for concrete and moisture density tests.
  - d. Assist in interpretation of plans and specifications.
  - e. Review drawings and data of manufacturers.
  - f. Process and certify payment estimates of the Contractor to Owner.
  - g. Prepare and process necessary change orders or modifications to the construction contract.
  - h. Make routine and special trips to the Project site as required.

- i. Make final reviews after construction contracts are completed to determine that the construction complies with the plans and specifications and certify that the reviews were made and that to the best of the knowledge and belief of the Engineers, the work on the contracts has been substantially completed.
- j. Provide the City with one (1) reproducible set of plans showing final construction.

**15. RESIDENT REVIEW AND CONSTRUCTION STAKING SERVICES.**

The Engineers shall provide resident review and construction staking during construction including, but not limited to, the following:

- a. Provide construction staking as necessary to include the establishment of required benchmarks and baselines for locations, elevations and grades of construction.
- b. Provide resident review services understood to include the detailed observation and review of work of the Contractors and materials to assure compliance with the plans and specifications.
- c. The Engineers shall provide resident review services by assigning resident engineers and/or engineering technicians to the Project for such periods reasonably required to insure proper review of the construction work. On-site review shall take place on a regular basis during construction work on the Project.

**16. FINAL REVIEW.** The Engineers shall make a final review of the Project after construction is completed to determine the construction substantially complies with the plans and specifications. The Engineers shall certify the completion of the work to the City when construction substantially complies with the plans and specifications.

**17. COMPENSATION.** The City shall compensate the Engineers for their services by payment of the following fees:

- a. For services under this Agreement, a fee on the basis of the standard hourly fees for the time the Engineers' personnel are actually engaged in the performance of the work, plus direct out-of-pocket costs incurred by personnel who are actually engaged in the work, plus direct costs incurred by the Engineers for work associated with the Project.
- b. The total fee for design services as set forth in **2. DESIGN SURVEYS** through **12. BID OPENING AND AWARD OF CONTRACT** shall not exceed the sum of Twenty Seven Thousand Six Hundred Dollars (\$27,600).

- c. The total fee for engineering services during construction as set forth in **13. PRECONSTRUCTION CONFERENCE, 14. GENERAL SERVICES DURING CONSTRUCTION, and 16. FINAL REVIEW** shall not exceed the sum of Seven Thousand Five Hundred Dollars (\$7,500).
  - d. The total fee for engineering services during construction as set forth in **15. RESIDENT REVIEW AND CONSTRUCTION STAKING SERVICES** shall not exceed the sum of Twenty Nine Thousand Five Hundred Dollars (\$29,500). The fee for resident review services is based on a maximum of three hundred twenty(320) hours of resident review based on standard hourly fees.
  - e. The maximum fee for engineering services during construction shall be based on providing services during the original construction contract period provided to the construction contractor. Services set forth under the compensation level in this part of the Agreement shall not include services beyond the contract completion date. Services beyond the original contract completion date, whether extended by the City or beyond the completion date, shall be considered Extra Work.
- 18. PAYMENT.** The fees shall be due and payable as follows:
- a. For design and preparation of the plans and specifications, and for easement preparation services, the fee shall be due and payable monthly.
  - b. For general services during construction, resident review and final review, the fee shall be due and payable monthly.
- 19. LEGAL SERVICES.** The City shall provide the services of the City Attorney in legal matters pertaining to the Project. The Engineers shall cooperate with said attorney and shall comply with his requirements as to form of contract documents and procedures relative to them.
- 20. SERVICES NOT INCLUDED.** The above-stated fees do not include compensation for the following items:
- a. If, after the plans and specifications are completed and approved by the City, the Engineers are required to change plans and specifications because of changes made by the City, the Engineers shall receive additional compensation for such changes which shall be based upon standard hourly fees plus expenses for personnel engaged in performance of the work associated with making the required changes.
  - b. Services associated with easement acquisition or condemnation proceedings.
  - c. Services associated with special assessments.

- d. Services associated with arbitration or litigation arising out of or in conjunction with the construction contract or construction contracts awarded by the City of Norwalk for construction of the Project.
  - e. The Engineers shall determine the desirable location of any geotechnical investigation and soil borings required for design. The City shall contract for and provide the recommended geotechnical services and compensate the geotechnical consultant directly.
21. **CHANGES AND EXTRA WORK.** The above-stated fees cover the specific services as outlined in this Agreement. If the City requires additional services of the Engineers in connection with the Project, the Engineers shall receive additional compensation for changes which shall be based upon the standard hourly fees plus expenses of the personnel engaged in the performance of the work. The method of compensation for authorized Extra Work shall be mutually agreed upon between the City and Engineers at the time the work shall be authorized. Compensation for any easement services shall be based on the standard hourly fees of the Engineers plus expenses incurred.,
22. **TIME OF COMPLETION.** The Engineers shall complete the work outlined in this Agreement within a time mutually agreed upon by the City and Engineers. The tentative target dates for completion of the various elements of the Project are as follows:
- a. Design and preparation of the plans and specifications for the Project: February, 2017.
23. **TERMINATION.** Should the City abandon the Project or any element of the Project before the Engineers have completed their work, the Engineers shall be paid for the work and services performed to the date of termination of that portion of the Project. Prior to the termination of any element of the Project, the Engineers shall advise the City as to the cost-effectiveness of abandonment of the design at that point in time of that portion of the Project.
24. **ASSISTANTS.** It is understood and agreed that the employment of the Engineers by the City for the purposes aforesaid shall be exclusive, but the Engineers shall have the right to employ such assistants as they may deem proper in the performance of the work.
25. **ASSIGNMENT.** This Agreement and each and every portion thereof shall be binding upon the successors and the assigns of the parties hereto.

The undersigned do hereby covenant and state this Agreement is executed in duplicate as though each were an original and there are no oral agreements that have not been reduced to writing in this instrument.

It is further covenanted and stated there are no other considerations or monies contingent upon or resulting from the execution of this Agreement, nor have any of the above been implied by or for any party to this Agreement.

**IN WITNESS WHEREOF**, the parties have hereunto subscribed their names on the date first written above.

**CITY OF NORWALK, IOWA**

ATTEST:

By \_\_\_\_\_  
Mayor

By \_\_\_\_\_  
City Clerk

**VEENSTRA & KIMM, INC.**

ATTEST:

By \_\_\_\_\_

By \_\_\_\_\_

**RESOLUTION NO  
RESOLUTION SECURING THE SERVICES OF VEENSTRA & KIMM INC.  
FOR THE FOUNDER'S DISTRICT WATER IMPROVEMENTS #2**

WHEREAS, the southern part of the community contains water main that is substandard due to size and material; and,

WHEREAS, Veenstra & Kimm Inc. have provided a professional engineering agreement to provide survey, design, plan development, bid assistance and construction administration for this project.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Norwalk, Iowa, that approval is given to enter into a professional engineering agreement with Veenstra & Kimm Inc. to provide said services in the amount of \$64,600.00

Passed and approved this 20<sup>th</sup> day of October, 2016.

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Tom Phillips, Mayor

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ATTEST:  
Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

**Item No. 14  
For Meeting of 10.20.16**

**ITEM TITLE:** Resolution for Consideration Approving Engineering Services for the Project known as the Lakewood Drive Improvement Project

**CONTACT PERSON:** Tim Hoskins, Public Works Director

**SUMMARY EXPLANATION & HISTORY:**

The Norwalk Community Infrastructure Study (NCIS) identified the need for infrastructure improvements primarily in the Lakewood Subdivision. There was a priority placed on each of the street segments based on the road surface condition as well as the other infrastructure needs in the area. Although Lakewood Drive was not listed at the top of the priority list, it was decided to move it forward due to traffic volume and its significance to the subdivision as a collector street. A scope of services was developed for this project along with a scoring system for evaluating each of the proposals. Six (6) submittals were received, all of which were attractive. A review committee consisting of Judy McConnell, Kyle Jackson, Kelley Cortum, Stephanie Riva, Jaki Livingston, Anthony Bellizzi, and Tim Hoskins graded each submittal. A meeting was then held on October 7, 2016 to discuss the qualifications and quality of the proposals with a consensus recommending approval of Snyder & Associates Engineers and Planners for this project.

**FUNDING:**

The estimated fees are broken down by each segment of the project with a “not to exceed” \$307,000. Funding for this project will consist of property owner assessments and bonding to be repaid with property taxes. The assessments are in according to the established Assessment Policy for Capital Improvement Projects approved by the City Council.

**ALTERNATIVES:**

1. Approve the resolution proceeding with Snyder & Associates.
2. Direct staff to consider other options for engineering services.
3. Postpone the project to a future date.

**RECOMMENDATION:**

**Staff recommends Alternative 1**

RESOLUTION NO

RESOLUTION SECURING THE SERVICES OF SNYDER & ASSOCIATES  
ENGINEERING & PLANNERS FOR THE LAKEWOOD DRIVE  
IMPROVEMENT PROJECT

WHEREAS, Lakewood Drive has been selected to be improved as the next project to be undertaken within the Norwalk Community Infrastructure Study (NCIS) due to its significance to the development; and,

WHEREAS, Lakewood Drive is a collector street with a significant traffic flows funneled from several local connecting streets; and,

WHEREAS, a review committee has reviewed proposals from multiple firms desiring to provide engineering services for design and project administration for this project; and,

WHEREAS, said committee having done due diligence is now recommending Snyder & Associates Engineering and Planners as the selected firm to engineer and oversee the project administration for this project.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Norwalk, Iowa, that the Mayor be authorized to enter into a contract for engineering and construction management of the project known as the Lakewood Drive Improvement Project for a "not to exceed" amount of \$307,000.

Passed and approved this 20<sup>th</sup> day of October, 2016.

\_\_\_\_\_  
Tom Phillips, Mayor

\_\_\_\_\_  
ATTEST:  
Jodi Eddleman, City Clerk

<b>ROLL CALL VOTE:</b>	Aye	Nay	Abstain	Absent
Isley	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kuhl	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lester	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Livingston	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Riva	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



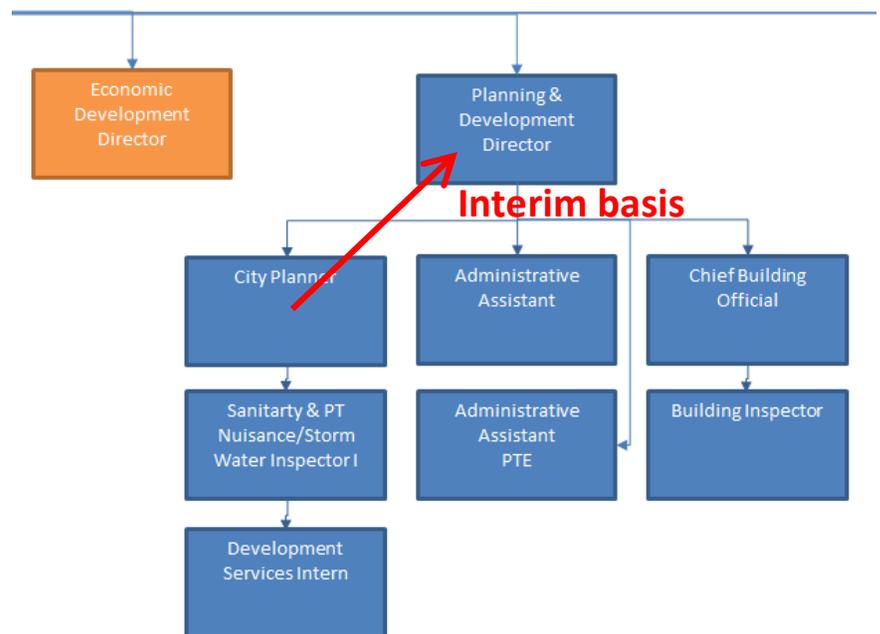
**BUSINESS OF THE CITY COUNCIL  
AGENDA STATEMENT**

Item No. 15  
For Meeting of 10.20.2016

**ITEM TITLE:** Community Development Department Structure  
**CONTACT PERSON:** Luke Nelson

**SUMMARY EXPLANATION & HISTORY:**

For the past several weeks the ad-hoc Policy/Administration Committee (Phillips, Livingston, Isley, Nelson) has met to discuss several departmental items. One item is consideration of the means by which the City handles economic development duties. Previously this was handled by combining duties of the Community Development Director with economic development. From the inception of this model there has been significant turn-over in this position. The Committee has researched several scenarios for the organizational structure of economic development and the Community Development Department. Shown at the right is the scenario being recommended for the near term.



**FUNDING:**

Wages for the interim duties of the Community Development Director have already been approved and are easily covered by the budget. Adding a new position of Economic Development Director will require approximately \$75,000 to be added to the budget (this is a rough estimate of the middle of the salary range TBD). This too can be adjusted into the current budget. The difficulty comes at a point when/if we fill the Community Dev Director position. This would require an additional dept head salary that could not be easily adjusted back into the budget. An easy way to view the additional salary is to consider that adding a \$75,000 (plus benefits) position would require 32-cents of additional property tax.

**ALTERNATIVES:**

1. Remain status quo and fill the open position of Community Development Director/Econ Dev Director.
2. Create a separate Economic Development Director position (wage range to be determined by wage study).
3. Establish the Community Development Director position with duties to serve as a planner and management of the Community Development Department (wage range to be determined by wage study).

4. Maintain the interim status of Luke Parris as interim for Community Development Director and revisit filling the open position at a later date (6-9 months).
5. Take no action at this time.

**RECOMMENDATION:**

I have found that duties within an organization adapt according to the skills of available staff. However, given the pattern of turn-over in the Director position with Community Development I am concerned that the duties assigned to this position are conflicting. On one hand you have a person that is directed to work with developers and promote growth while the planner duties seek to serve as a watch dog. Given these conflicting duties **Staff recommends Alternatives 2 & 4. This will be a relatively minor impact on the current budget.**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING CHAPTERS 155 BUILDING CODE, 157 MECHANICAL CODE, 156 PLUMBING CODE, 158 ELECTRICAL CODE, and 160 RESIDENTIAL CODE PROVIDING FOR REFUNDS OF PERMIT FEES**

- Section 1. Purpose.
- Section 2. Refund Guidelines
- Section 3. Repealer
- Section 4. Severability Clause
- Section 5. When Effective

Be it ordained by the City Council, City of Norwalk, Iowa:

Section 1. Purpose. The purpose of this ordinance is to establish guidelines and rules for providing refunds of permit fees under circumstances when the construction project, for which a permit has been issued, has changed to the extent that the permit fee previously paid for the project would be lower had the changed plans been submitted at the time of the issuance of the permit. This Ordinance amends Chapters 155 Building Code, 157 Mechanical Code, 156 Plumbing Code, 158 Electrical Code, and 160 Residential Code of the Norwalk Code.

Section 2. Refund Guidelines. In the event a construction project is amended subsequent to the issuance of a permit, which amendment would result in a lower permit fee had the final amended project been originally permitted, the City shall issue a refund of the permit fee pursuant to the following guidelines.

- A. The request for refund is made by the holder of the permit in writing to the Building Official within ninety (90) days of the issuance of the permit.
- B. No work on the project, for which the permit was issued, has commenced.
- C. The refunded amount will not exceed 80% of the original cost of the permit.

Section 3. Repealer. Any ordinance or parts of ordinances in conflict with this ordinance are hereby repealed.

Section 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged to be invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 5. When Effective. This ordinance shall be in full force and effect upon final passage, approval, and publication as provided by law.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk